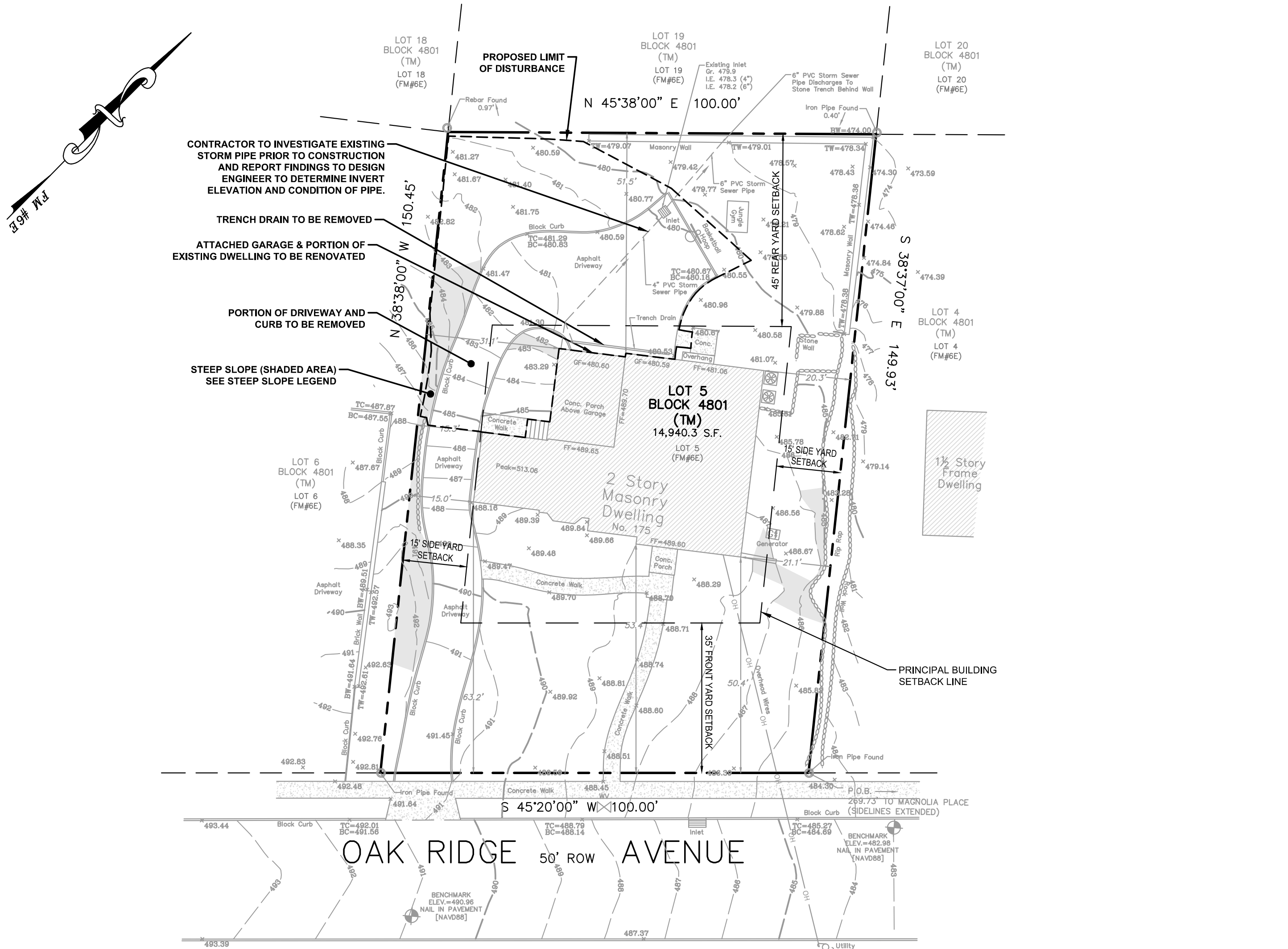
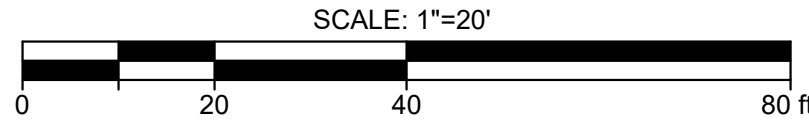




SITE PREPARATION PLAN

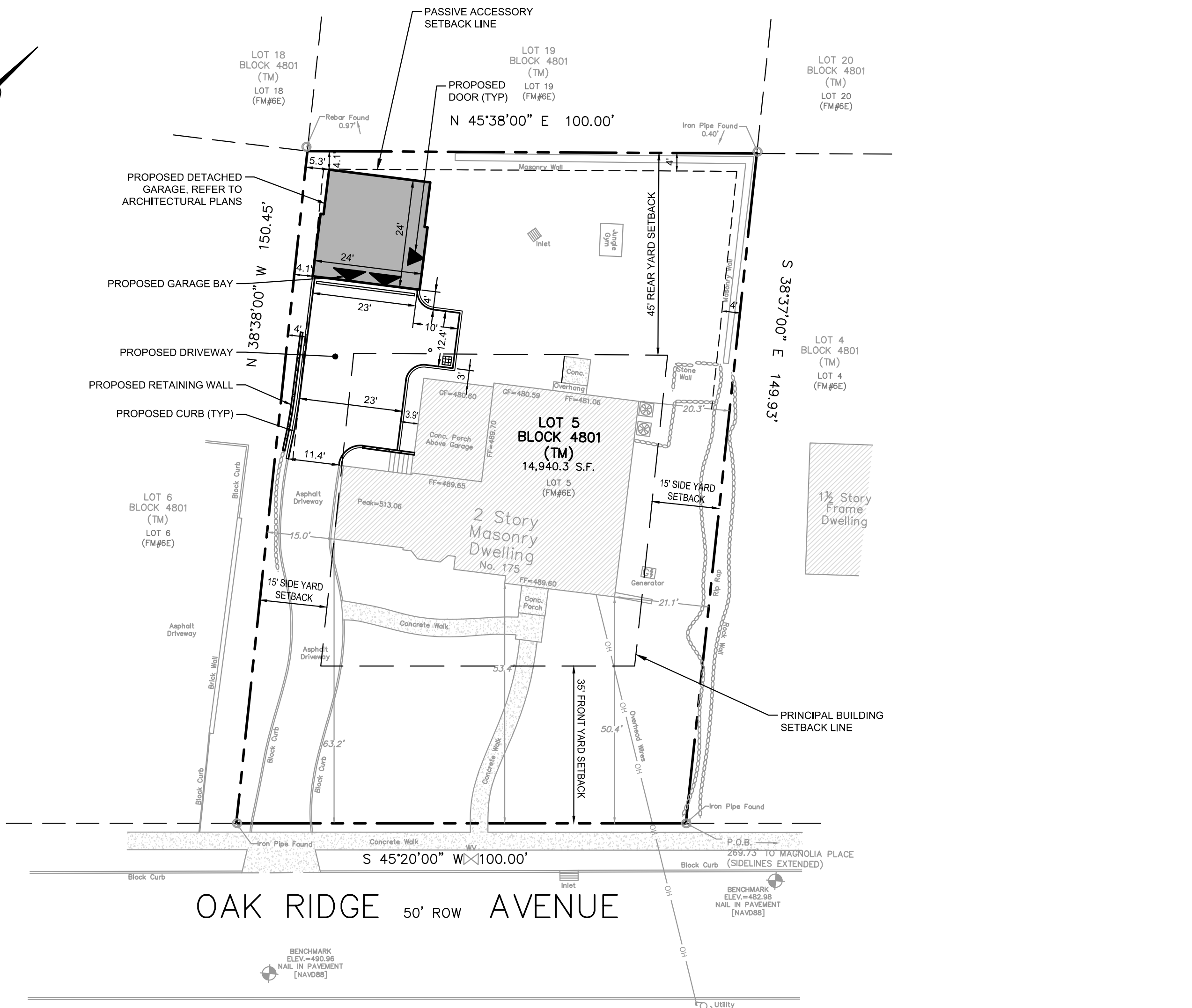
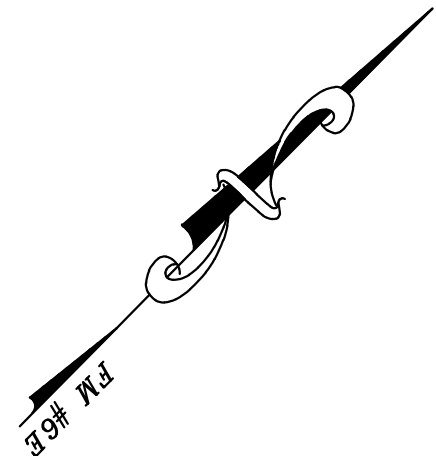


REFERENCES/NOTES:

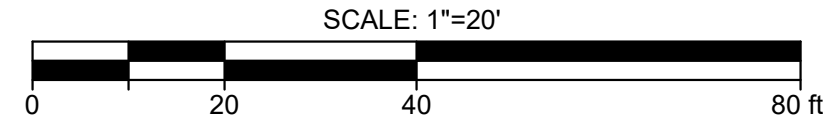
- THE INTENTION OF THIS PLAN IS TO SHOW THE PROPOSED DETACHED GARAGE AND RELATED SITE IMPROVEMENTS.
- EXISTING CONDITIONS SHOWN HEREON ARE BASED ON A PLAN ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY, TAX LOT 5 - BLOCK 4801, 175 OAK RIDGE AVENUE, CITY OF SUMMIT, UNION COUNTY, NEW JERSEY" PREPARED BY LAKE LAND SURVEYING DATED APRIL 4, 2025.
- THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION GEO-WEB MAPPING DOES NOT REVEAL ANY WETLANDS AND/OR WETLAND TRANSITION AREAS ON THE SUBJECT PROPERTY. THIS STATEMENT IS BASED ON THE NJDEP RESOURCE MAPPING AND DOES NOT QUALIFY AS A FORMAL INTERPRETATION/WETLAND ABSENCE DETERMINATION.
- THE SUBJECT PROPERTY IS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FLOOD INSURANCE RATE MAP NUMBER 34039C0009G WITH A PRELIMINARY DATE OF APRIL 18, 2016.
- THIS PROJECT IS NOT A MAJOR STORMWATER DEVELOPMENT SINCE THE PROPOSED DISTURBANCE OF LAND SINCE FEBRUARY 2, 2004 IS LESS THAN ONE ACRE. THE PROPOSED REGULATED IMPERVIOUS SURFACE SINCE FEBRUARY 2, 2004 IS LESS THAN ONE-QUARTER ACRE AND THE PROPOSED REGULATED MOTOR VEHICLE SURFACE SINCE MARCH 2, 2021 IS LESS THAN ONE-QUARTER ACRE. THE PROJECT IS NOT A MAJOR STORMWATER DEVELOPMENT PER ARTICLE XV OF THE CITY ORDINANCE AS THE CUMULATIVE INCREASE IN IMPERVIOUS AREA IS LESS THAN 300 SQUARE FEET.
- UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND OBSERVATIONS ONLY IN ACCORDANCE WITH FIELD MARK-OUTS AND/OR PHYSICAL LOCATIONS OBSERVED DURING CONSTRUCTION. CONNECTIONS BETWEEN STRUCTURES, IF SHOWN, ARE BASED ON SAID MARK-OUTS AND OCCUPATIONS AND MAY NOT REPRESENT ACTUAL BELOW GROUND CONDITIONS.
- THIS PLAN DOES NOT INCLUDE TAKEOUT OF PROPERTY AND PROPOSED STRUCTURES.
- PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION ACTIVITY, THE CONTRACTOR SHALL COMPLETE THE FOLLOWING:
 - VERIFY THE PLANS CONTAIN THE RAISED SEAL OF THE ENGINEER AND DISPLAY THE LATEST REVISION AS "ISSUED FOR CONSTRUCTION". THE USE OF ANY OTHER PLANS IS AT THE CONTRACTOR'S RISK.
 - VERIFY THE INFORMATION SHOWN ON THESE PLANS IS CONSISTENT WITH THE INFORMATION SHOWN ON ALL OTHER PLANS (ARCHITECTURAL, LANDSCAPING, ETC.) BEING USED FOR CONSTRUCTION OF THE PROJECT. ALSO, VERIFY THE PLANS ARE CONSISTENT WITH ALL CONDITIONS AND REQUIREMENTS SET FORTH IN THE PERMITS. REPORT ANY DISCREPANCIES/INCONSISTENCIES TO THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY CONSTRUCTION.
 - DETERMINE ALL APPLICABLE SPECIFICATIONS, AS WELL AS ALL REQUIREMENTS FOR SHOP DRAWINGS, INSPECTIONS AND TESTING APPLICABLE TO PROJECT BY CONTACTING THE LOCAL BUILDING OFFICIAL, MUNICIPAL ENGINEER AND EACH AFFECTED UTILITY COMPANY (OR AGENCY). IN THE EVENT OF A CONFLICT BETWEEN ANY SPECIFICATIONS AND THE INFORMATION SHOWN ON THESE PLANS, THE DESIGN ENGINEER AND THE OWNER SHALL BE NOTIFIED IN ORDER TO RESOLVE THE CONFLICT PRIOR TO ANY CONSTRUCTION.
- THE PROPOSED GRADING IS DESIGNED TO TIE INTO EXISTING TOPOGRAPHIC CONDITIONS WITHOUT AN ADVERSE GRADING OR DRAINAGE IMPACT AND THAT ALL DISTURBANCE AND GRADING CAN BE LIMITED TO WITHIN THE PROPERTY IN QUESTION. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THEIR OWN VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION. SHOULD THERE BE ANY SUSPECTED DISCREPANCIES WITH THE TOPOGRAPHY DEPICTED ON THE PLANS AND ACTUAL PHYSICAL CONDITIONS, ANY CONFIRMED DISCREPANCY IDENTIFIED BY THE CONTRACTOR'S VERIFICATION SHALL BE REPORTED TO THE ENGINEER FOR RESOLUTION PRIOR TO ANY SITE DISTURBANCE. ONCE ANY SITE DISTURBANCE OCCURS, THE CONTRACTOR SHALL HAVE NO CLAIM FOR EXTRA WORK BASED UPON SUSPECTED OR CONFIRMED TOPOGRAPHIC DISCREPANCIES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SITE SAFETY AND FOR DETERMINING THE MEANS AND METHODS FOR ALL CONSTRUCTION ACTIVITIES. ALL SAFETY PRECAUTIONS MUST BE UNDERTAKEN AND MAINTAINED AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES.
- ALL AREAS BEING GRADED AND WHERE SOIL IS BEING SPREAD ACROSS THE YARD SHALL BE TOP SOILED AND SEEDED IMMEDIATELY FOLLOWING GRADING OPERATIONS.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH THE LOCAL SOIL CONSERVATION DISTRICT'S REQUIREMENTS. SESC CERTIFICATION IS NOT REQUIRED AS THE PROJECT DISTURBS LESS THAN 5,000 SQUARE FEET AS SHOWN ON THE PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE TO IMPROVEMENTS WITHIN THE TOWNSHIP RIGHT-OF-WAY INCLUDING, BUT NOT LIMITED TO, SIDEWALK, CURB, AND ASPHALT CAUSED BY CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE INSTALLATION OF THE IMPROVEMENTS ON THE SUBJECT LOT.
- THE CONTRACTOR IS AWARE THAT IF STORMWATER RUNOFF DRAINAGE PROBLEMS OCCUR ON THEIR PROPERTY AND/OR NEIGHBORING PROPERTIES AS A RESULT OF THE PROPOSED IMPROVEMENTS OR DURING CONSTRUCTION, IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO REMEDY THAT DRAINAGE ISSUE.
- CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR MAKING THEIR OWN DETERMINATIONS REGARDING SUBSURFACE CONDITIONS, INCLUDING BUT NOT LIMITED TO SOIL CHARACTERISTICS, AS WELL AS DEPTH TO ROCK AND GROUNDWATER. THE DESIGN ENGINEER WAS NOT CONTRACTED TO MAKE ANY SUCH DETERMINATIONS.
- IF REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY TREE REMOVAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- IF REQUIRED, ANY EXISTING TREES WITHIN THE LIMIT OF DISTURBANCE WHICH ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.

ZONING TABLE			
BLOCK 4801, LOT 5 (175 OAK RIDGE AVENUE)			
CITY OF SUMMIT, UNION COUNTY, NEW JERSEY			
LOT AREA = 14,940.3 SF (0.343 ACRES)			
ZONE: R-15 (SINGLE FAMILY RESIDENCE DISTRICT)			
EXISTING/ PROPOSED USE: SINGLE FAMILY RESIDENTIAL DWELLING			
PROPOSED IMPROVEMENTS: ADDITION TO SINGLE FAMILY DWELLING AND DETACHED GARAGE			
REQUIREMENTS	PERMITTED	EXISTING	PROPOSED
Minimum Lot Area	15,000 SF	14,940 SF (Pre-existing nonconforming)	NO CHANGE
Minimum Lot Width	90 Feet	100.0 Feet	NO CHANGE
Principal Building Minimum Front Yard Setback	35 Feet	50.4 Feet	NO CHANGE
Principal Building Minimum Rear Yard Setback	45 Feet	51.5 Feet	NO CHANGE
Principal Building Minimum Side Yard Setback Each	15 Feet	East: 20.3 Feet West: 15.0 Feet	NO CHANGE
Principal Building Minimum Total Side Yard	35% (35.0 Feet)	35.3 Feet	NO CHANGE
Maximum Lot (Impervious) Coverage	35%	36.1% (Pre-existing nonconforming)	35.6% (VARIANCE) Improvement to pre-existing nonconforming
Maximum Building Coverage	18%	15.3%	19.1% (VARIANCE)
Maximum Principal Building Height	35 Feet and 2 Stories	< 35 Feet and 2 Stories	NO CHANGE
Floor Area Ratio	25%	< 25%	NO CHANGE
Maximum Accessory Building Height	15 Feet to 18 Feet Detached garages and pool houses for single- and two-family homes may exceed the maximum fifteen-foot height requirement only when it is determined that such an increase in height is required to match the roof pitch of the principal building for purposes of design continuity, and where the required setbacks of the accessory structure conform to the requirements of this chapter. In no case shall garage or pool house height exceed 18 Feet. The two lowest exterior walls of any accessory building or structure shall not exceed a vertical dimension of 10 Feet.	N/A	17.9 Feet Building Height Calculation Garage floor to highest point of roof surface (Refer to Architectural Plans): 16.6 Feet Grade plane to garage floor (See chart on Sheet 2): 1.3 Feet Building Height = 16.6 + 1.3 = 17.9 Feet
Maximum Floor or Ground Area of Accessory Structure	576 SF	N/A	563 SF
Maximum Accessory Dimension	24 Feet	N/A	24 Feet
Minimum Passive Accessory Structure Setback	4 Feet	N/A	Garage to Side: 4.1 Feet Garage to Rear: 4.1 Feet

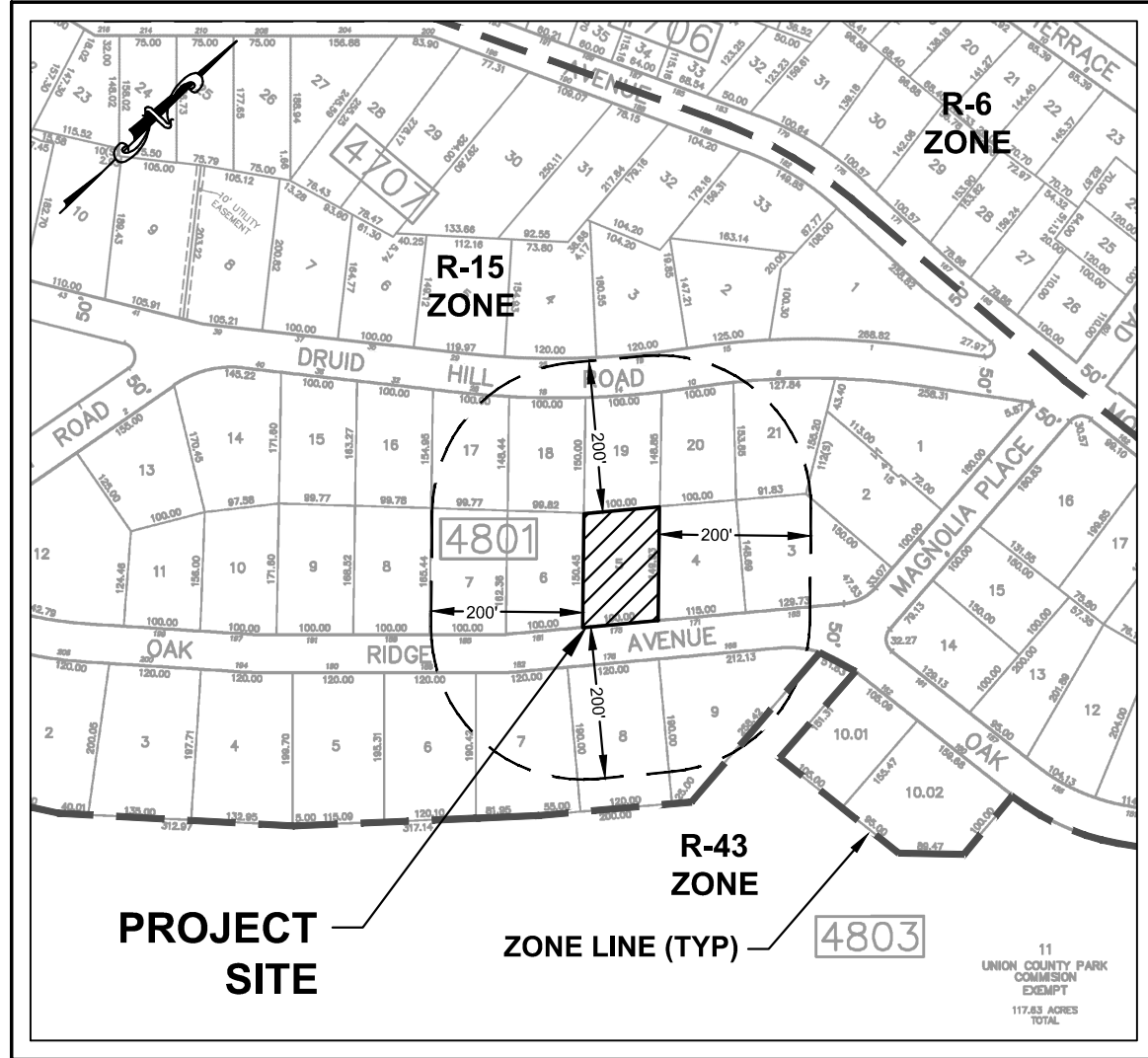
STEEP SLOPE LEGEND				
SLOPE LEGEND	SLOPE CATEGORIES	DISTURBANCE PROPOSED (SF)	MAXIMUM PERMITTED DISTURBANCE (SF)	COMMENTS
	0 -14.99%	3,250	N/A	COMPLIES
	> 15%	250	1,000	COMPLIES



PROPOSED CONDITIONS



Coverage Table					
TOTAL LOT AREA (SF) = 14,940.3					
Existing Coverage			Proposed Coverage		
Description	Area (SF)	Percentage	Description	Area (SF)	Percentage
Dwelling	2,289		Dwelling	2,289	
			Detached Garage	563	
Total Building Coverage	2,289	15.3%	Total Building Coverage	2,852	19.1%
			Increase in Building Coverage	563	
Driveway	2,560		Driveway	1,942	
Front Porch and Walkways	387		Front Porch and Walkways	387	
Side Steps and Walkways	72		Side Steps and Walkways	69	
Rear Overhang, Walkway, and Pads	88		Rear Overhang, Walkway, and Pads	74	
Total Impervious Coverage	5,396	36.1%	Total Impervious Coverage	5,324	35.6%
			Decrease in Impervious Coverage	72	



ZONING MAP
(REFERENCE: CITY OF SUMMIT TAX MAP SHEETS 47 AND 48)
SCALE: 1"= 250'

APPROVALS:

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT COMPLIES WITH ALL APPROVALS GRANTED BY THE APPROVING AUTHORITY.

CITY ENGINEER _____ DATE _____

APPROVED BY THE ZONING BOARD OF ADJUSTMENT OF THE CITY OF SUMMIT.

BOARD CHAIRPERSON _____ DATE _____

BOARD SECRETARY _____ DATE _____

OWNER / APPLICANT:

ERIC AND CHRISTIE TOBACK
175 OAK RIDGE AVENUE
SUMMIT NJ, 07901
(609) 516-5889

MICHAEL J. ROTH

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 24GE05262600

ROTH ENGINEERING
ROTH ENGINEERING, LLC
52 QUAIL RUN, LONG VALLEY, NJ 07863
PHONE: 973-715-7427
EMAIL: MIKE@ROTHENGINEERS.COM

LOT GRADING & VARIANCE PLANS FOR 175 OAK RIDGE AVENUE

SITE PLAN

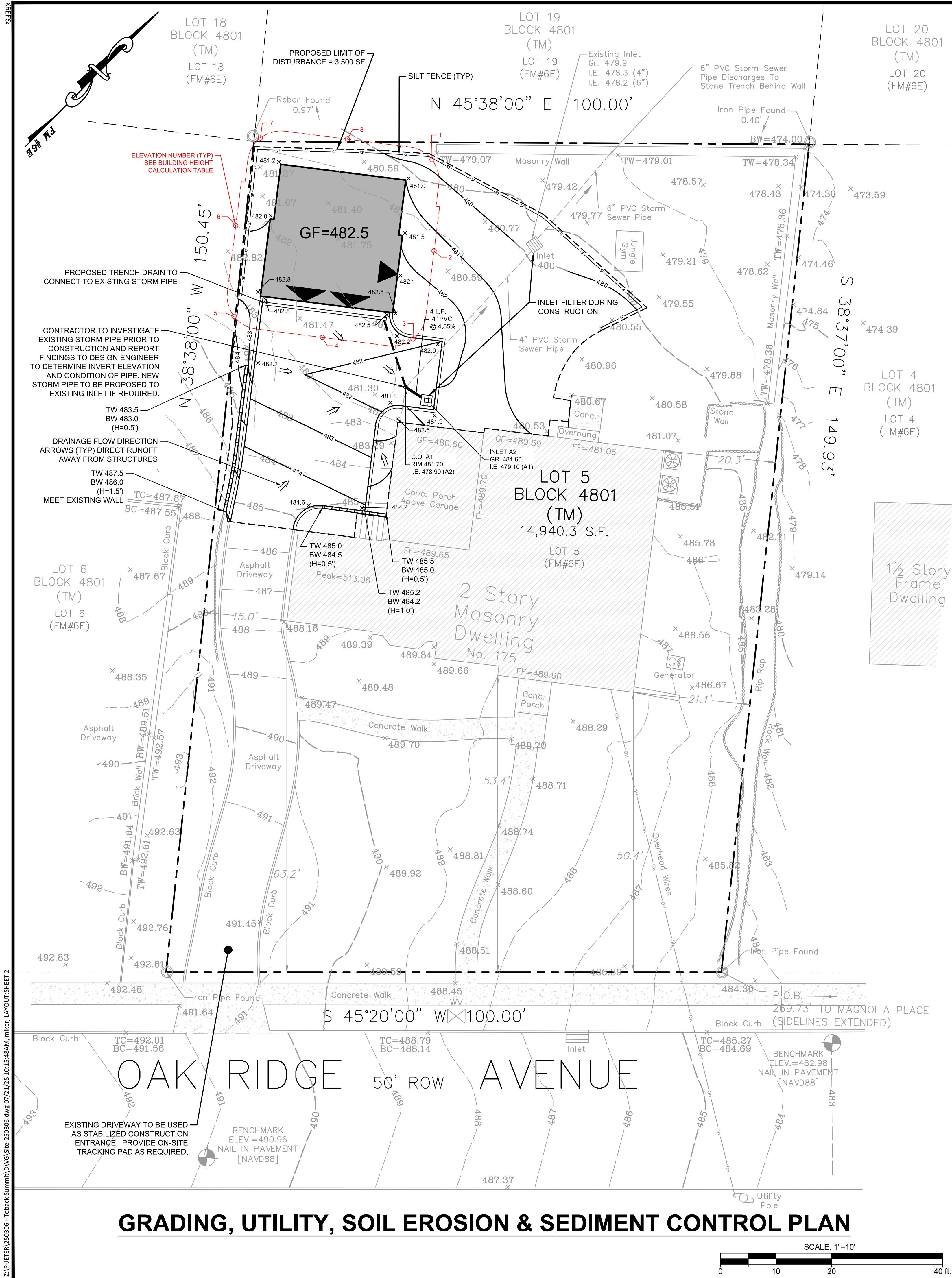
BLOCK 4801, LOT 5

CITY OF SUMMIT, UNION COUNTY, NEW JERSEY

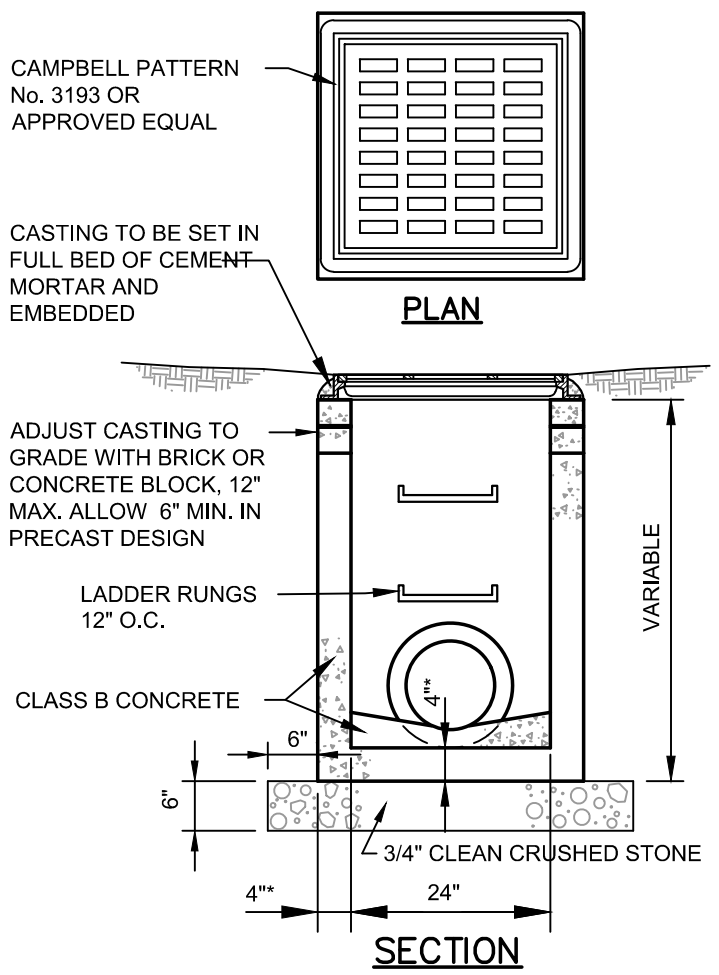
DATE: 05/28/25

PROJECT NO.: 250306

SHEET NO.:



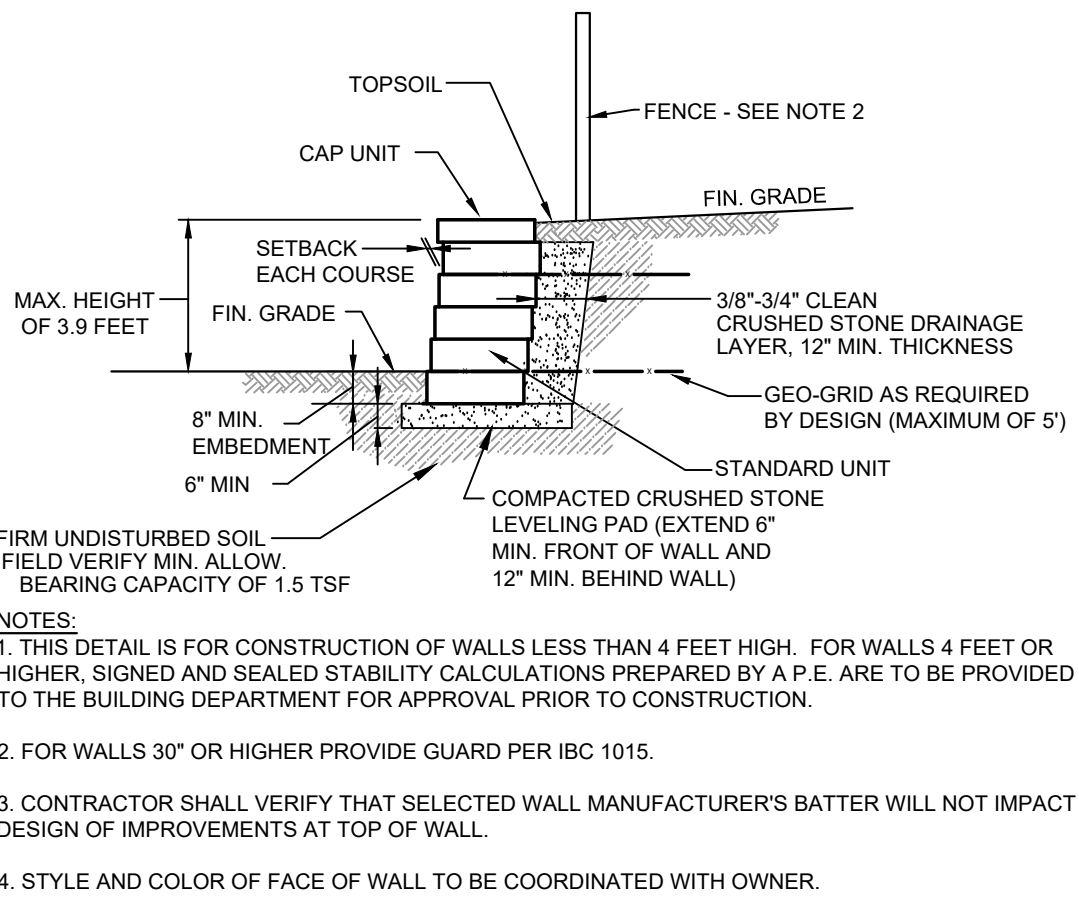
Building Height Calculation		
FF to Highest Point of Roof		16.6
(Refer to Architectural Plans)		
Grade Plane: Existing grade prior to construction using points six feet from the foundation (clockwise starting at the northeast corner)	1	479.3
	2	481.2
	3	480.8
	4	481.6
	5	483.6
	6	482.0
	7	480.8
	8	480.2
Average Grade Plane		481.2
Garage Floor (GF)		482.5
GF - Average Grade		1.3
Proposed Height		17.9
Max Height Permitted		18.0



- THIS INLET MAY BE CONSTRUCTED OF BRICK, CONCRETE OR CONCRETE BLOCK. IF BRICK OR CONCRETE BLOCK IS USED THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE.
- *WALLS SHALL BE 4" MIN. IF PRECAST AND 6" MIN. IF BLOCK.

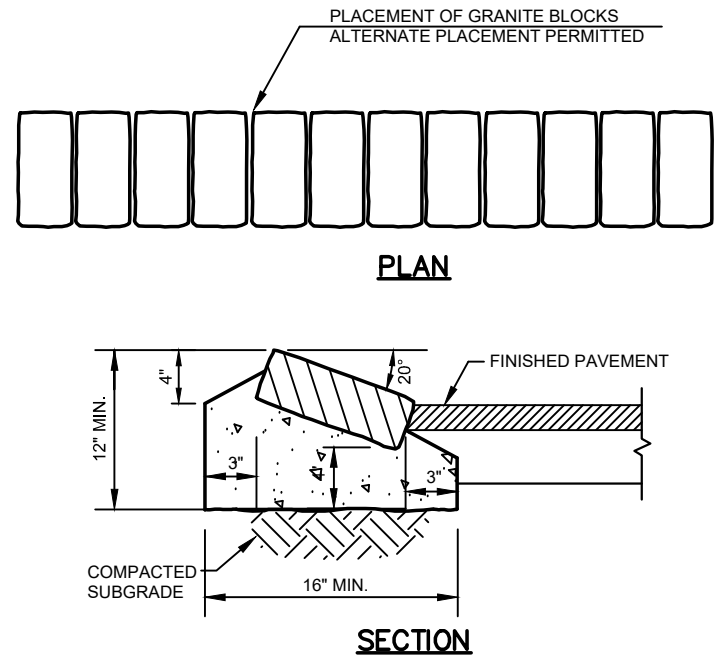
2' X 2' CONCRETE INLET

N.T.S.



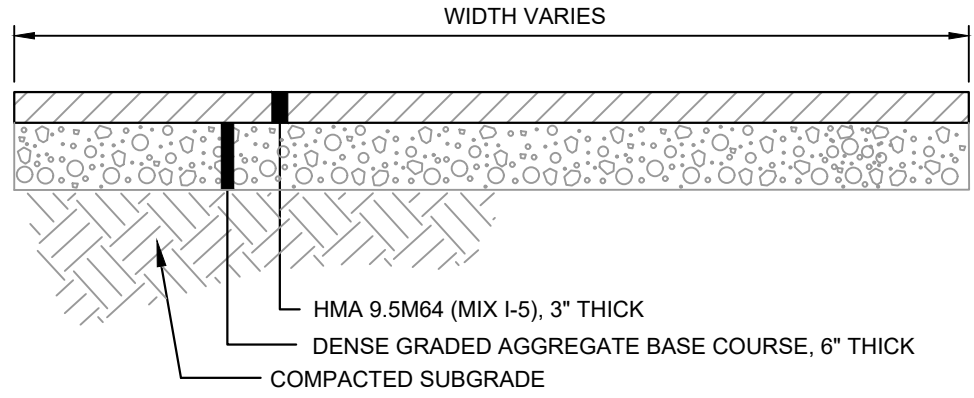
TYPICAL MODULAR RETAINING WALL DETAIL

SCALE: N.T.S.



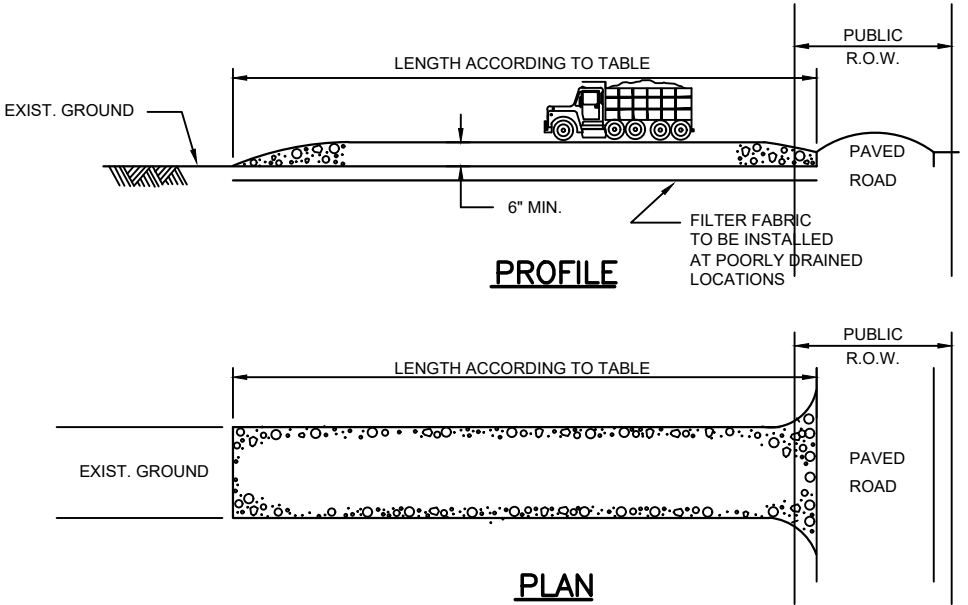
MOUNTABLE GRANITE BLOCK CURB DETAIL

N.T.S.



TYPICAL SECTION DRIVEWAY PAVEMENT

N.T.S.



NOTES

STONE SIZE: 1 1/2" - 2 1/2" CRUSHED STONE

WIDTH NOT LESS THAN FULL WIDTH AT POINTS OF EGRESS AND INGRESS.

WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC R.O.W. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.

MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC R.O.W. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRAPPED ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY.

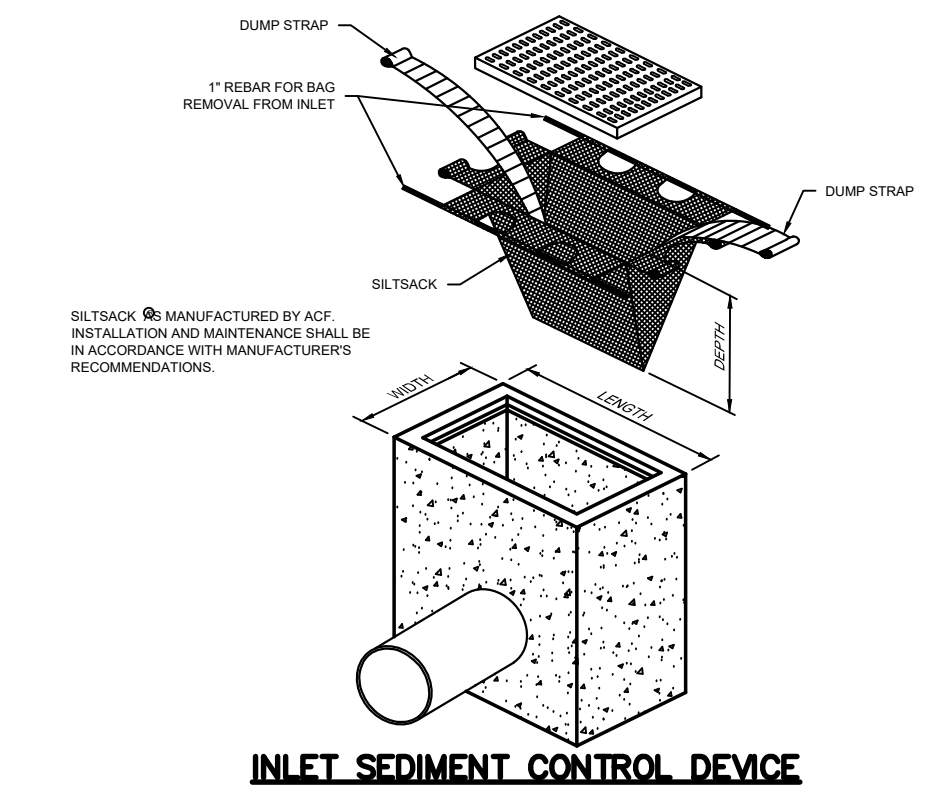
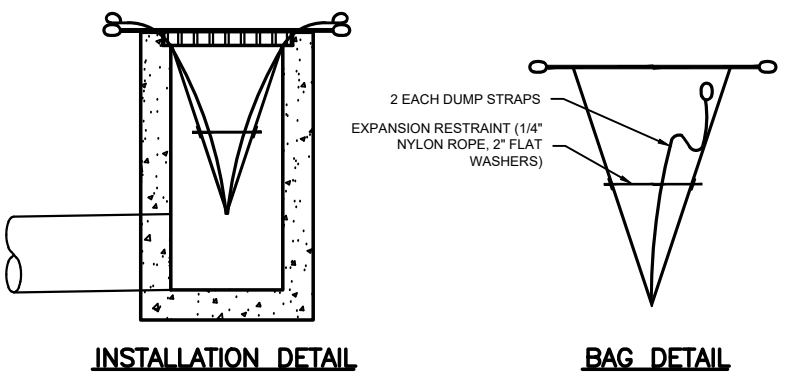
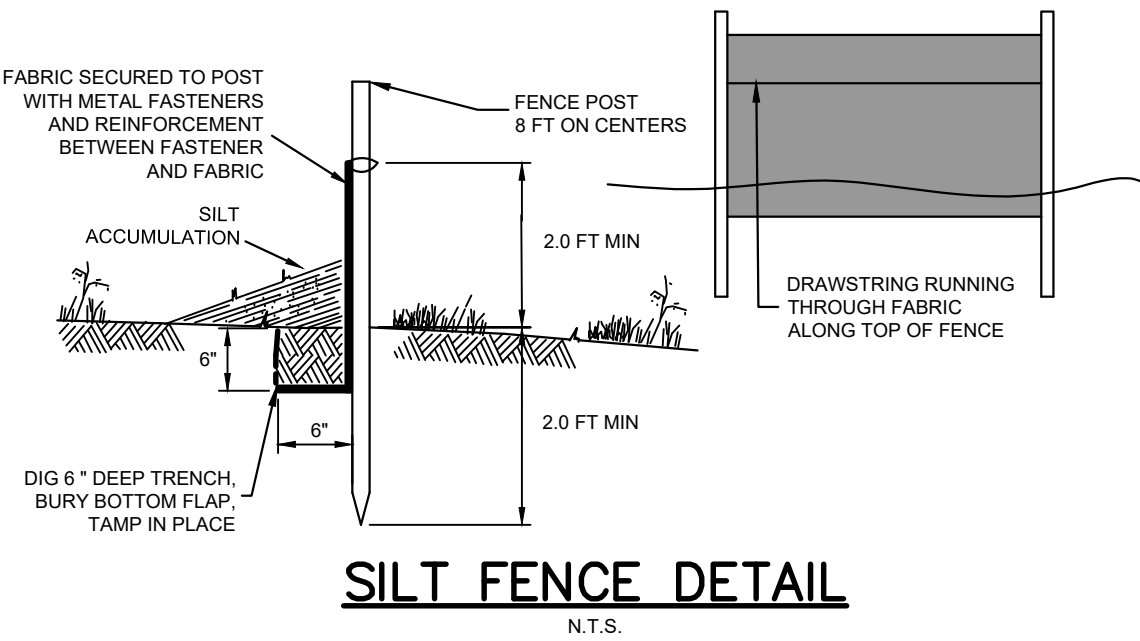
WHEN THE CONSTRUCTION ACCESS EXITS ONTO A MAJOR ROADWAY, A PAVED TRANSITION AREA MAY BE INSTALLED BETWEEN THE MAJOR ROADWAY AND THE STONED ENTRANCE TO PREVENT LOOSE STONES FROM BEING TRANSPORTED OUT ONTO THE ROADWAY BY HEAVY EQUIPMENT ENTERING OR LEAVING THE SITE.

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
>5%	ENTIRE SURFACE STABILIZED WITH HMA BASE COURSE MIX I-2	

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY

STABILIZED CONSTRUCTION ENTRANCE (IF REQUIRED)

N.T.S.



MICHAEL J. ROTH

ROTH ENGINEERING

LOT GRADING & VARIANCE PLANS FOR 175 OAK RIDGE AVENUE
GRADING, UTILITY, & SOIL EROSION & SEDIMENT
CONTROL PLAN & CONSTRUCTION DETAILS

DATE: 05/28/25
PROJECT NO.: 250306
SHEET NO.:

2 OF 2