

GENERAL NOTES

1. THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE UNIFORM CONSTRUCTION CODE. ALL CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE FOREMENTIONED CODE.

2. ALL CONTRACTORS ARE TO PROVIDE NECESSARY BARRICADES AND SAFETY PRECAUTIONS AND STRICTLY ADHERE TO ALL GOVERNING CODES ON SAFETY, INCLUDING STATE, LOCAL AND OSHA.

3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY AND ALL CLAIMS ARISING FROM THE CONSTRUCTION OF THIS PROJECT.

4. ANY ITEMS NOT SPECIFICALLY MENTIONED BUT IS REQUIRED TO MAKE THE WORK COMPLETE SHALL BE INCLUDED AT NO ADDITIONAL COST TO THE OWNER.

5. IN THE ABSENCE OF AN OWNER ARCHITECT AGREEMENT FOR CONSTRUCTION ADMINISTRATION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR FIELD COORDINATION OF CONSTRUCTION, REVIEW AND PROCESSING OF SHOP DRAWINGS AND IN GENERAL, CONSTRUCTION ADMINISTRATION.

6. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS. ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF ALL LOCAL AND STATE CODES.

7. CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND ALL FIELD DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. HE SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CORRECTION BEFORE BEGINNING ANY WORK. THE DISCOVERY OF DISCREPANCIES AFTER THE START OF WORK SHALL BE EVIDENCE OF FAULTY PREPARATION ON THE PART OF THE CONTRACTOR AND THE COST OF CORRECTION SHALL BE BORNE BY THE CONTRACTOR.

8. CHANGES TO OR DEVIATIONS FROM THESE DRAWINGS SHALL NOT BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

9. DO NOT SCALE DRAWINGS.

10. THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED WITHOUT HIS CONSENT. DRAWINGS SHALL NOT BE USED FOR FILING FOR BUILDING PERMITS UNLESS SIGNED AND SEALED BY THE ARCHITECT.

11. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL BUILDING PERMITS PRIOR TO BEGINNING CONSTRUCTION.

12. THESE CONSTRUCTION DRAWINGS AND DOCUMENTS DO NOT ASSIGN WORK TO A SPECIFIC TRADE OR SUBCONTRACTOR. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DIVIDE THE WORK AMONG HIS SUPPLIERS AND SUBCONTRACTORS AS HE SEES FIT AND ACCORDING TO HIS CONTRACTUAL AGREEMENT WITH HIS SUPPLIERS AND SUBCONTRACTORS.

13. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK INDICATED IN THE CONSTRUCTION DRAWINGS AND DOCUMENTS. ANY ITEMS NOT SPECIFICALLY MENTIONED BUT REQUIRED TO MAKE THE WORK COMPLETE SHALL BE INCLUDED AT NO ADDITIONAL COST TO THE OWNER.

SELECTIVE DEMOLITION

1. THIS SECTION REQUIRES THE SELECTIVE REMOVAL AND THE SUBSEQUENT LEGAL OFFSITE DISPOSAL OF PORTIONS OF THE EXISTING BUILDING INDICATED ON DRAWINGS AND AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

2. RELOCATE PIPES, DUCTS, CONDUITS AND OTHER MECHANICAL AND ELECTRICAL ITEMS AS REQUIRED AND AS INDICATED ON ARCHITECTURAL AND ENGINEERING DRAWINGS TO COMPLETE THE WORK OF THIS CONTRACT.

3. CONDITION OF STRUCTURE: OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.

4. DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK.

5. FLAME CUTTING: THE USE OF CUTTING TORCHES OR OPEN FLAME TO REMOVE MATERIALS FROM THE BUILDING IS NOT PERMITTED.

6. MAINTAIN FIRE PROTECTION SERVICES DURING SELECTIVE DEMOLITION OPERATIONS.

7. CEASE OPERATIONS AND NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS.

8. COVER AND PROTECT FURNITURE, EQUIPMENT AND FIXTURES FROM SOILAGE OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED.

9. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT. SUBMIT REPORT TO OWNER'S REPRESENTATIVE IN WRITTEN, REARNEAR SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT UNDUE DELAY.

10. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN.

11. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REPAIR TO CONDITION EXISTING PRIOR TO START OF OPERATIONS. REPAIR ADJACENT SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.

SITEWORK

1. EXCAVATE AS REQUIRED FOR FOUNDATIONS TO UNDISTURBED VIRGIN SOIL.

2. TOP SOIL IS TO BE REMOVED AND STORED ON SITE AS DIRECTED BY THE OWNER. OTHER EXCAVATED MATERIAL, IF SUITABLE, MAY BE USED AS BACKFILL IN NON-LOAD BEARING SITUATIONS. EXCESS EXCAVATED MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE. PROFITS FROM THE SALE OF EXCESS EXCAVATED MATERIAL SHALL BE INCORPORATED INTO THE COST OF EXCAVATION FOR THE BENEFIT OF THE OWNER.

3. ASSUMED SOIL BEARING CAPACITY IS 2,000 PSF. ANY EVIDENCE OF ORGANIC MATTER IN THE SOIL OR ANY STRATA OF SOIL THAT APPEARS TO BE QUESTIONABLE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

4. BACKFILL MATERIAL SHALL BE CLEAN, WELL GRADED GRAVEL WITHOUT ANY ORGANIC MATERIAL OR DEBRIS AND SHALL NOT BE FROZEN.

5. COMPACTION OF BACKFILL UNDER FOOTINGS SHALL BE IN 6" LIFTS AND ACHIEVE A DENSITY OF 98%, AS TESTED BY A TESTING LAB.

6. BOTTOM OF FOOTINGS SHALL BE MINIMUM OF 3'-0" BELOW GRADE, OR DEEPER, IF CALLED FOR IN THE BUILDING CODE. CONTRACTOR SHALL CHECK WITH THE LOCAL BUILDING DEPARTMENT FOR LOCAL REQUIREMENTS.

7. CONTRACTOR SHALL PROVIDE SHORING OR BRACING IN ACCORDANCE WITH OSHA REQUIREMENTS. CARE SHALL BE TAKEN TO AVOID UNDERRUNNING ADJACENT EXISTING STRUCTURES. UNDERPINNING OF EXISTING STRUCTURES SHALL ONLY BE DONE WITH AN UNDERPINNING PLAN DESIGNED BY A STRUCTURAL ENGINEER, SIGNED AND SEALED AND FILED WITH THE LOCAL BUILDING DEPARTMENT.

SOIL EROSION

1. ALL PRECAUTIONS SHALL BE TAKEN TO PREVENT SOIL EROSION FROM OCCURRING. SOIL RUNOFF FROM THE SITE SHALL BE PREVENTED.

WOOD

1. FURNISH LUMBER MANUFACTURED TO COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND WITH APPLICABLE GRADING RULES OF INSPECTION AGENCIES CERTIFIED BY AMERICAN LUMBER STANDARDS COMMITTEE'S BOARD OF REVIEW.

2. FURNISH LUMBER WITH EACH PIECE FACTORY MARKED WITH GRADE STAMP, SHOWING GRADE, SPECIES, MOISTURE CONTENT AT TIME OF SURFACING, AND MILL.

3. FOR EXPOSED LUMBER, FURNISH PIECES OF LUMBER MARKED ON ENDS OR BACK OF PIECE.

4. ALL LUMBER SHALL BE DRESSED, SURFACED 4 SIDES, (S4S), UNLESS NOTED OTHERWISE.

5. STRUCTURAL FRAMING LUMBER SHALL BE HEM-FIR, DOUGLAS FIR OR SPRUCE-PINE-FIR, AS DESIGNATED BY WESTERN WOOD PRODUCTS ASSOCIATION, WITH FIBER STRESS IN BENDING, $f_b = 1,100$ PSI, OR GREATER AND A MODULUS OF ELASTICITY OF 1,100,000 PSI OR GREATER.

6. WALL FRAMING SHALL BE "STUD" GRADE OR BETTER.

7. ALL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 15%.

8. ALL Headers SHALL BE DBL 2"X10" WITH 1/2" PLYWOOD IN BETWEEN, UNLESS NOTED OTHERWISE. DOUBLE ALL JOISTS UNDER PARALLEL PARTITIONS AND PROVIDE SOLID BLOCKING UNDER PERPENDICULAR PARTITIONS.

9. ALL PLYWOOD SHEATHING SHALL BE IN ACCORDANCE WITH AMERICAN PLYWOOD ASSOCIATION MANUFACTURING AND PERFORMANCE STANDARDS AND GRADE DESIGNATIONS.

10. ROOF PLYWOOD SHEATHING SHALL BE 5/8", EXPOSURE 1 (CDX), UNLESS NOTED OTHERWISE.

11. WALL PLYWOOD SHEATHING SHALL BE 1/2", EXPOSURE 1 (CDX), UNLESS NOTED OTHERWISE.

12. FLOOR SHEATHING SHALL BE BOTH FASTENED WITH NAILS OR SCREWS AND GLUED TO THE JOISTS.

13. ALL FASTENERS THAT ARE EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED.

14. ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESERVE PRESERVATIVE TREATED.

15. JOISTS FRAMING INTO THE SIDE OF A GIRDOR OR BEAM SHALL BE SUPPORTED BY FRAMING ANCHORS SUCH AS SIMPSON STRONG-TIE CONNECTORS, OR EQUAL, GALVANIZED AND FASTENED WITH ANCHOR MANUFACTURER'S FASTENERS, THE USE OF COMMON NAILS WITH CONNECTORS IS NOT PERMITTED.

16. PARTITIONS PARALLEL TO FLOOR FRAMING SHALL BE SUPPORTED BY DOUBLE JOISTS. PARTITIONS PERPENDICULAR TO FLOOR FRAMING SHALL BE SUPPORTED BY BLOCKING AT 48° O.C.

ROOFING

1. ROOF SHINGLES SHALL BE SELECTED BY THE OWNER. CONTRACTOR TO INSTALL SHINGLES IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS, COMPLYING WITH ALL REQUIREMENTS TO INSURE THE OWNER HAS A FULL WARRANTY FOR THE SHINGLE SELECTED. A WRITTEN COPY OF THE WARRANTY, SIGNED BY A PERSON AUTHORIZED BY THE MFR, TO INSPECT THE ROOF INSTALLATION FOR COMPLIANCE, SHALL BE DELIVERED TO THE OWNER BEFORE FINAL PAYMENT IS MADE.

2. INSTALL METAL FLASHING OVER ALL WINDOWS AND DOORS IN EXTERIOR WALLS.

3. ALUMINUM GUTTERS AND LEADERS SHALL BE .032" GAGE ALUMINUM WITH BAKED ON FINISH. LEADERS SHALL BE 3"X4" AND GUTTERS SHALL BE 5". COLOR SHALL BE SELECTED BY OWNER.

4. ALL RIDGES SHALL HAVE RIDGE VENTS, WITH SCREENS TO PREVENT INSECTS FROM NESTING WITHIN THE ROOF.

5. ALL SOFFITS SHALL BE VENTILATED WITH EITHER PERFORATED SOFFIT PANELS OR INDIVIDUAL VENTS, WITH AREA OF VENTILATION GRILLES TO BE TWICE THE AREA REQUIRED BY THE BUILDING CODE.

SIDING

1. SIDING SHALL BE SELECTED BY THE OWNER. CONTRACTOR SHALL INSTALL SIDING IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, COMPLYING WITH ALL REQUIREMENTS TO INSURE THE OWNER HAS A FULL WARRANTY FOR THE SIDING SELECTED. A WRITTEN COPY OF THE WARRANTY SHALL BE GIVEN TO THE OWNER BEFORE FINAL PAYMENT IS MADE.

2. SEALANT SHALL BE APPLIED TO THE PERIMETER OF ALL WINDOWS AND DOORS ON THE EXTERIOR OF THE BUILDING. SEALANT COLOR SHALL MATCH THE COLOR OF THE WINDOWS.

3. VINYL SIDING SHALL CERTIFIED AND LABELED AS CONFORMING TO THE REQUIREMENTS OF ASTM D 3679 BY AN APPROVED QUALITY CONTROL AGENCY.

4. BUILDING WRAP OR WEATHER RESISTANT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND SHALL USE ALL OF THE MANUFACTURER'S SYSTEM'S COMPONENTS, INCLUDING BUT NOT LIMITED TO, FASTENERS, TAPES, SEALANT, ETC.

EXTERIOR WINDOWS AND DOORS

1. EXTERIOR WINDOWS AND SLIDING DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATED COMPLIANCE WITH AAMA/WDMA/CSA 101/1.S.2/A440.

2. EXTERIOR SIDE HINGED DOORS SHALL BE TESTED AND LABELED AS CONFORMING TO AAMA/WDMA/CSA 101/1.S.2/A440 OR COMPLY WITH ASTM E 330.

CONCRETE

1. ALL CONCRETE WORK IS DESIGNED ON THE BASIS OF "STRENGTH DESIGN" IN ACCORDANCE WITH ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". ALL CONCRETE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318.

2. CONCRETE WORK SHALL BE PROPORTIONED IN ACCORDANCE WITH ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE" AND ACI 211.1, "RECOMMENDED PRACTICES FOR SELECTING PROPORTIONS FOR NORMAL WEIGHT CONCRETE", TO PRODUCE A 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI, UNLESS NOTED OTHERWISE.

3. NO WATER SHALL BE ADDED TO THE CONCRETE MIX AT THE JOB SITE WITHOUT THE APPROVAL OF THE ENGINEER.

4. ALL AGGREGATE SHALL CONFORM TO ASTM C-33.

5. ADMIXTURES MAY BE USED ONLY AFTER THE REVIEW AND APPROVAL BY THE ARCHITECT.

6. CONCRETE COVER FOR REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 318, AND SHALL BE, MINIMALLY, AS LISTED BELOW:

- A. SLABS - 3/4"
- B. UNFORMED CONCRETE BELOW GRADE - 3"
- C. FORMED CONCRETE BELOW GRADE - 2"

7. ALL REINFORCING STEEL SHALL COMPLY WITH ASTM A 615 AND/OR ASTM A 617.

8. ALL REINFORCING STEEL SHALL:

- A. COMPLY WITH ASTM A 615 AND OR ASTM A 617
- B. BE GRADE 60
- C. BE SPliced IN ACCORDANCE WITH ACI 318
- D. BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS, IN ACCORDANCE WITH ACI 318 AND ACI 301.

9. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND BE POSITIONED SO AS TO BE IN THE CENTER OF DEPTH OF THE SLAB.

10. CONCRETE SLABS SHALL BE, UNLESS OTHERWISE NOTED, 4" THICK WITH 6X6-1.4XW1.4 (6X6-10X10) WELDED WIRE FABRIC ON 6 MIL THICK POLYETHYLENE SHEET ON 4" COMPACTED GRAVEL OR CRUSHED STONE.

11. JOINTS SHALL OCCUR A MAXIMUM OF 3 TIMES IN FEET THE DEPTH OF THE CONCRETE SLAB IN INCHES. FOR EXAMPLE, 4" SLAB SHALL HAVE JOINTS 12' ON CENTER MAXIMUM.

STEEL

1. STEEL COLUMNS SHALL HAVE WELDED TOP AND BOTTOM PLATES AND BE THE SIZE AND WALL THICKNESS NOTED ON THE DRAWINGS. FILING A TUBULAR COLUMN WITH CONCRETE DOES NOT ALLOW THE USE OF A THINNER THAN NOTED COLUMN.

2. ALL CONNECTORS FOR WOOD JOISTS TO STEEL BEAMS SHALL BE SIMPSON STRONG-TIE CONNECTORS, OR EQUAL, GALVANIZED AND FASTENED WITH SIMPSON STRUCTURAL FASTENERS. THE USE OF COMMON NAILS WITH CONNECTORS IS NOT PERMITTED.

3. ANCHOR BOLTS SHALL CONFORM TO ASTM A 307, AND BE SPACED A MAXIMUM OF 6'-0" O.C. WITH A MINIMUM OF TWO BOLTS PER SILL SECTION AND 1'-0" FROM THE END OF SILLS SECTIONS.

4. ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, NFPA 70, LATEST EDITION.

5. ALL LIGHT FIXTURES, APPLIANCES, EQUIPMENT AND DEVICES SHALL BE UL LISTED FOR ITS INTENDED USE.

6. ARC FAULT CIRCUIT INTERRUPTER PROTECTION SHALL BE REQUIRED FOR ALL NEWLY INSTALLED (NOT REPLACEMENT) BRANCH CIRCUITS IN DWELLING UNITS.

7. [403.5.1.2] ELECTRIC HEAT TRACE SYSTEMS COMPLY WITH EEE 515.1 OR UL 515. CONTROLS AUTOMATICALLY ADJUST THE ENERGY INPUT TO THE HEAT TRACING TO MAINTAIN THE DESIRED WATER TEMPERATURE IN THE PIPING.

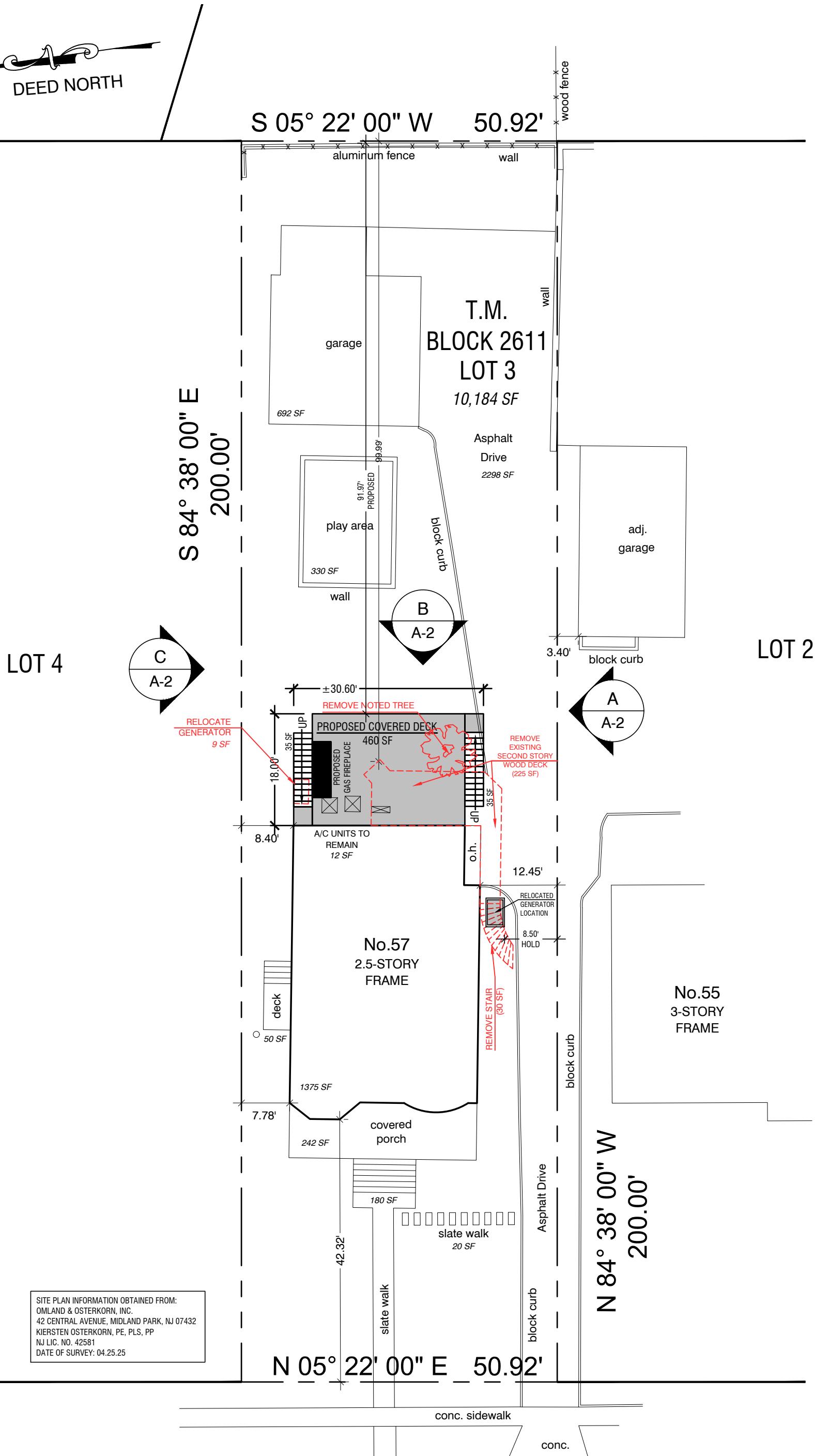
8. [404.1] 100% OF PERMANENT FIXTURES HAVE HIGH EFFICACY LAMPS.

9. [404.1.2] FUEL GAS LIGHTING SYSTEMS HAVE NO CONTINUOUS PILOT LIGHT.

10. [404.2] PERMANENT INTERIOR LIGHTING SHALL BE CONTROLLED WITH EITHER A DIMMER, OCCUPANCY SENSOR OR OTHER CONTROL BUILT INTO THE FIXTURE.

11. [404.3] EXTERIOR LIGHTING > 30 WATTS SHALL HAVE THE FOLLOWING CONTROLS: MANUAL ON/OFF SWITCH WITH AUTOMATIC SHUT-OFF, AUTOMATIC SHUT-OFF IN DAYLIGHT HOURS, AND CONTROLS THAT OVERRIDE AUTOMATIC SHUTOFF THAT RETURNS TO AUTOMATIC CONTROL WITHIN 24 HOURS.

ELECTRICAL



1. ALL PRECAUTIONS SHALL BE TAKEN TO PREVENT SOIL EROSION FROM OCCURRING. SOIL RUNOFF FROM THE SITE SHALL BE PREVENTED.

REAR DECK EXTENSION
GUILLAUME RESIDENCE
57 HOBART AVENUE
CITY OF SUMMIT
UNION COUNTY
BLOCK #2611 LOT #3

GRZEGORZ HASAJ, AIA - ARCHITECT

c. 973-508-2461

ghasaj19@gmail.com

DATE: 06.22.25

SCALE: AS NOTED

DWG. NO. GH

CHK. BY: GH

DWG. NO. A-1

REVISIONS:
REV # DESCRIPTION DATE:
ZONING SUBMISSION 05.08.25

LETTER OF INCOMPLETENESS #1 06.18.25

REAR DECK EXTENSION
GUILLAUME RESIDENCE
57 HOBART AVENUE
CITY OF SUMMIT
UNION COUNTY
BLOCK #2611 LOT #3

PROPOSED PLANS AND ELEVATIONS

ARCHITECTURAL LICENSE NUMBERS:
NJ 21A10222500
FL 10162
IN 1633422
PA RA-409835


GRZEGORZ HASAJ, AIA - ARCHITECT
c. 973-508-2461
ghasaj19@gmail.com

DATE: 06.22.25
SCALE:
AS NOTED
DWN. BY: GH
CHK. BY: GH
DWG. NO. 025-003
JOB NO.

A-2

