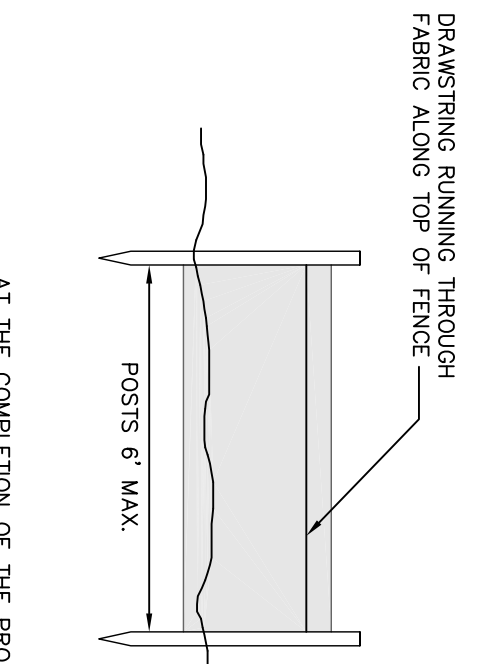
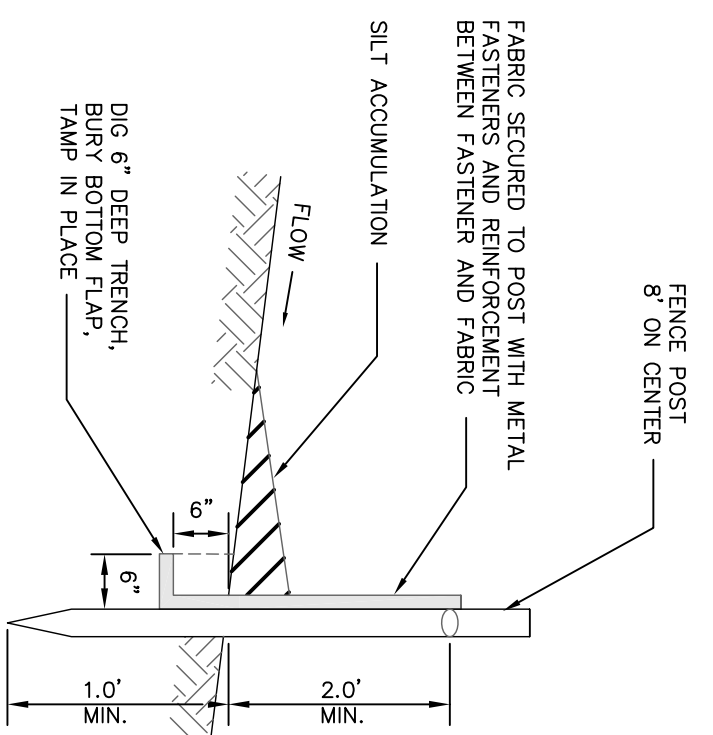
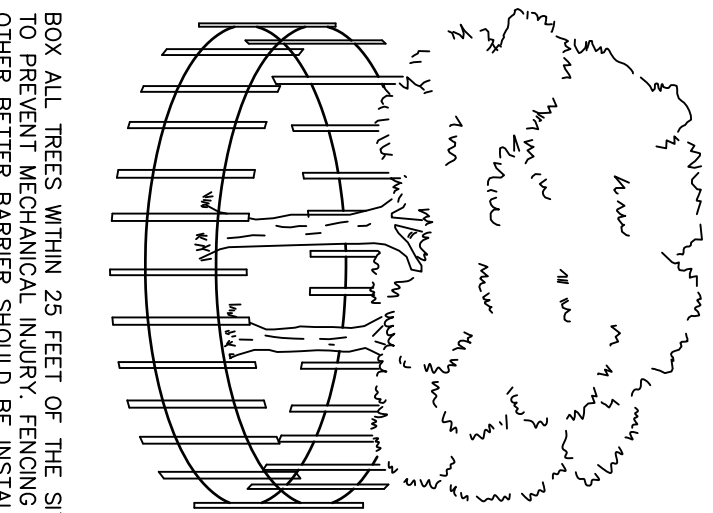
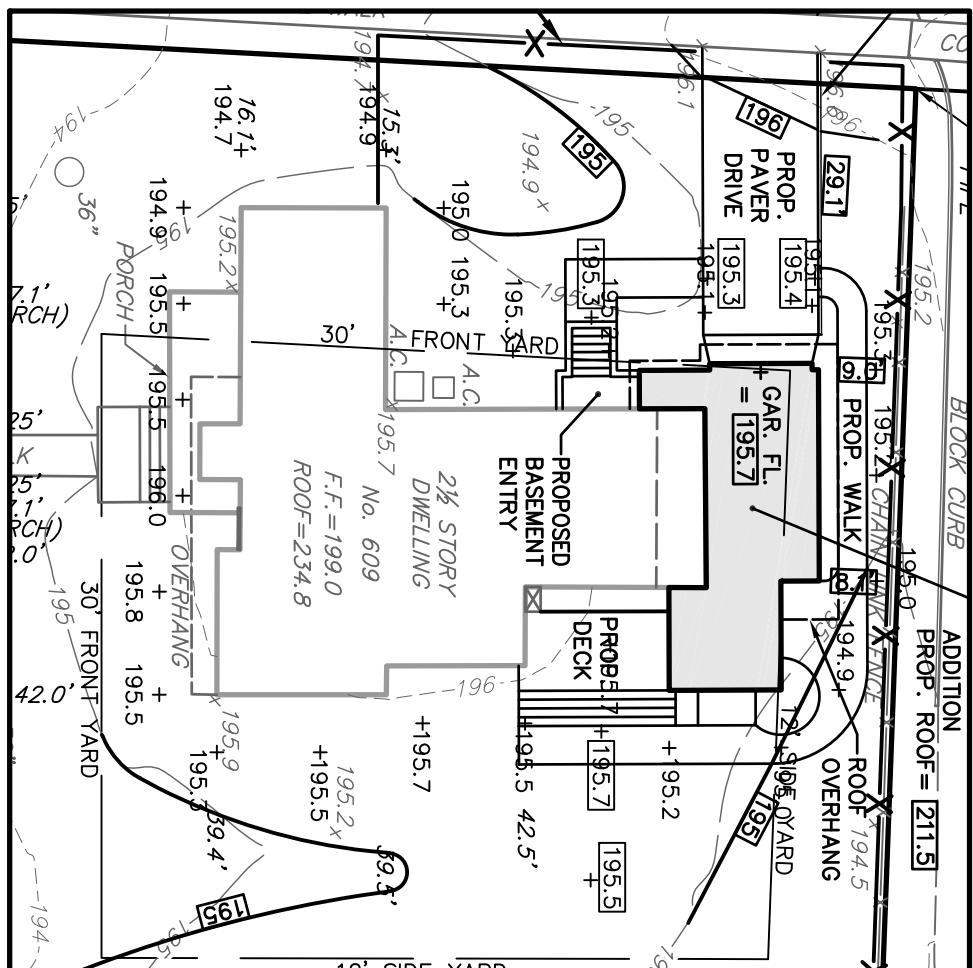
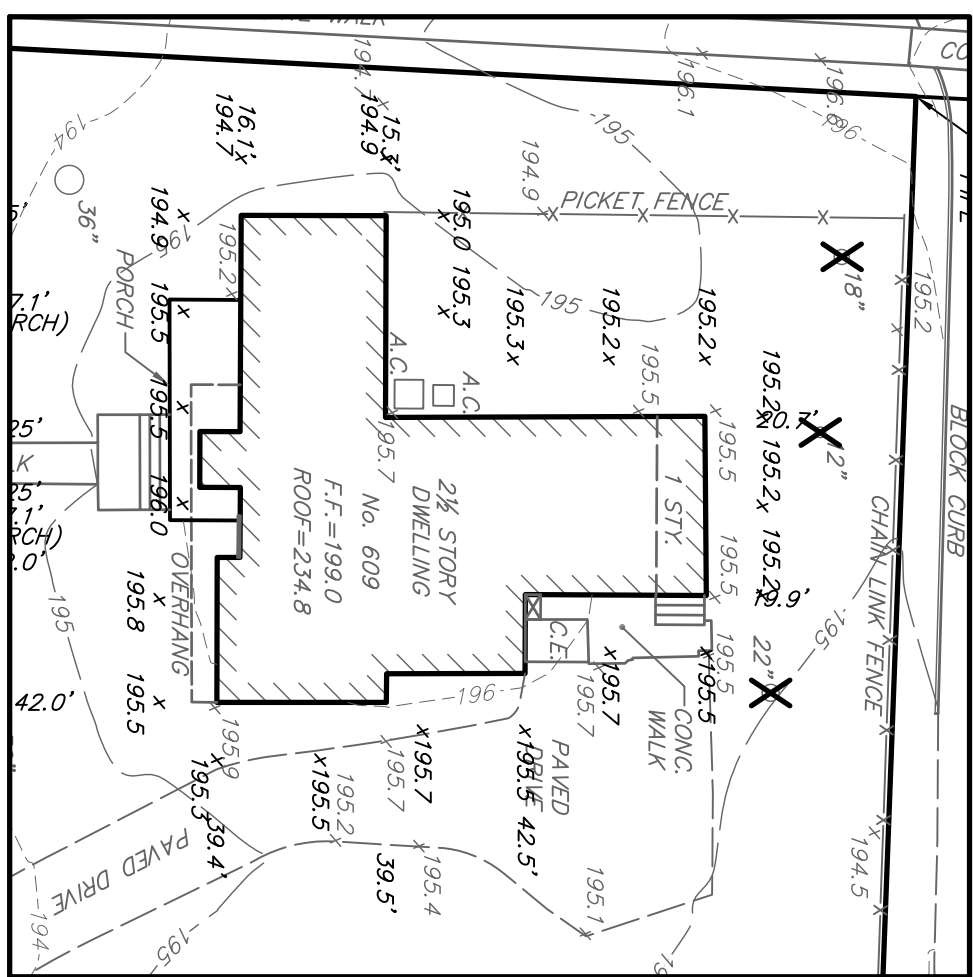


- 1) THIS PLAN IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY A LICENSED SURVEYOR. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY UNPAID TAXES, EASEMENTS, OR OTHER INTERESTS IN THE SUBJECT SITE. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY UNPAID TAXES, EASEMENTS, OR OTHER INTERESTS IN THE SUBJECT SITE. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY UNPAID TAXES, EASEMENTS, OR OTHER INTERESTS IN THE SUBJECT SITE.
- 2) VERTICAL DATUM IS ASSUMED AND IS BASED UPON EXISTING FIRST FLOOR AS SHOWN ON THE PLAN, ELEVATION=904.0.
- 3) THIS SURVEY DOES NOT INCLUDE INVESTIGATION OF ANY EMBANKMENT, MATTERS INCLUDING, BUT NOT LIMITED TO, PRESENCE OF ASBESTOS.
- 4) UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON RECORDS AS LISTED ON THIS PLAN AS REFERENCES.
- 5) ANDER B. CLARK, P.L.S. MAKES NO GUARANTEES, EXPRESS OR IMPLIED, THAT THE UTILITIES SHOWN ON THIS PLAN ARE ACCURATE. WHETHER OR NOT SHOWN ON THIS PLAN IT IS THE RESPONSIBILITY OF ANY UNDERGROUND UTILITIES IN THE VICINITY OF THE SUBJECT SITE, FOR ANY CONVICTION REGARDING TO EXCAVATE, TO CALL FOR MARKED UTILITIES PRIOR TO EXCAVATION, AND DEPTH OF ANY UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- 6) THE CITY ENGINEER MUST BE NOTIFIED AT LEAST 72 HOURS IN ADVANCE OF INSTALLATION OF THE STRUCTURAL MANAGEMENT SYSTEM.
- 7) THE APPLICANT SHALL CONSTRUCT OR INSTALL SOIL EROSION AND SEDIMENT CONTROL, PROTECTIVE MEASURES AS REQUIRED BY THE CITY ENGINEER OR BY THE SOUTHERN-JUNION SOIL CONSERVATION DISTRICT.
- 8) THE APPLICANT SHALL NOTIFY THE CITY ENGINEER PRIOR TO COMMENCING CONSTRUCTION AND AT SUCH OTHER TIMES AS MAY BE REQUIRED IN THE GRADING PERMIT APPROVAL.
- 9) THE APPLICANT SHALL GRADE THE PROPERTY AND INSTALL ANY REQUIRED EROSION AND SEDIMENT CONTROL, PROTECTIVE MEASURES AS REQUIRED BY THE CITY ENGINEER OR BY THE SOUTHERN-JUNION SOIL CONSERVATION DISTRICT.
- 10) ALL SOIL EROSION AND SEDIMENT CONTROL, PROTECTIVE MEASURES SHALL BE AS SPECIFIED IN THE GRADING PERMIT, OR BOTH, AND SHALL OBTAIN FINAL GRADING APPROVAL FROM THE CITY ENGINEER.
- 11) ALL EXCESS AND/OR EXCESS EXCAVATED SOIL, SHALL BE REMOVED FROM SITE.
- 12) ALL TREES IN THE WORK AREA NOT SCHEDULED FOR REMOVAL, ARE TO BE PROTECTED IN ACCORDANCE WITH THIS PLAN AND CITY REQUIREMENTS FOR PROTECTION FROM THE CITY.
- 13) THE APPLICANT SHALL BE RESPONSIBLE FOR REMOVAL OF ANY TREES OR PLANTS TO BE REMOVED FOR THE PROJECT.
- 14) IN ACCORDANCE WITH §§31-15.2.1, NO NEW STORM WATER DEVICES OR METHODS ARE REQUIRED AS THE PROPOSED INCREASE IN IMPERVIOUS SURFACES WILL BE OFFSET BY THE PROPOSED INCREASE IN STORAGE CAPACITY OF THE STORM WATER RUNOFF. WATER IS NOT DIRECTED TO ANY NEIGHBORING PROPERTY AND IS NOT DISCHARGED IN A LOCATION AND MANNER WHICH WILL CONTRIBUTE TO SOIL EROSION.
- 15) STORM WATER DISCHARGES ARE NOT PERMITTED TO BE THROUGH THE CURB OR DRIVEWAY. STORM WATER DISCHARGES SHALL BE THROUGH THE CURB IS PERMITTED OR THE DISCHARGE SHALL BE OUTSIDE THE DRAINAGE TO A STREET OR DRAINAGE CANAL.
- 16) STORM WATER DISCHARGES SHALL BE OUTSIDE THE DRAINAGE TO A STREET OR DRAINAGE CANAL.
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- 115) STORM WATER DISCHARGES SHALL BE OUTSIDE



SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY NOT SUBJECT TO CONSTRUCTION SPECIFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
3. PERMANENT VEGETATION SHALL BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDLING IS ESTABLISHED.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR JANUARY 2014.
5. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE SHEETS, ROADS, DRIVEWAYS AND PARKING AREAS IN AREAS WHERE NO UTILITIES ARE PRESENT. THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO SEEDING (I.E.: STEEP SLOPES, ROADWAY EMBANKMENTS) WILL HAVE AN EROSION CONTROL COMBINATION OF MULCH, PERMANENT VEGETATION, AND SLAKE FACIANT. MULCH SHALL BE APPLIED AT A RATE OF ONE (1) TON PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
7. ANY STEEP SLOPES (I.E., SLOPES GREATER THAN 3:1), RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS.
8. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'-X-30" PAD OF 1½" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
9. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE SUFFICIENT PROTECTION FROM EROSION MUST BE RECOVERED BY OTHER MEANS. MULCH SHALL BE REMOVED OR TREATED IN SUCH MANNER THAT IT WILL REMAIN ON ITS ADJACENT SURFACE. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUFFICIENT COVER, IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUFFICIENT COVER, IT WILL HAVE TO BE EMPLOYED. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS FOR ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES.

TEMPORARY AND PERMANENT STABILIZATION NOTES

1. TEMPORARY STABILIZATION, ON EXPOSED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO DISTURBANCE BY APPLYING THE FOLLOWING:
 - a) GROUND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SQUARE FEET.
 - b) FERTILIZER AT A RATE OF 14 POUNDS PER 1,000 SQUARE FEET USING A 10-20-10 ANALYSIS OR AN EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".
 - c) SEED SHALL BE ANNUAL RYEGRASS APPLIED AT NOT LESS THAN ONE POUND PER 1,000 SQUARE FEET.
 - d) MULCH ALL NEWLY SEEDING AREA WITH UNROOTED SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 90 POUNDS PER 1,000 SQUARE FEET.
 - e) ACCORDING TO THE NJ STANDARD, MULCH SHALL NOT BE GROUND INTO SHORT PIECES AND IN NO CASE SHALL MORE THAN 5 DAYS ELAPSE BETWEEN SEEDING AND MULCHING.
 - f) MULCH SHALL BE ANCHORED WITH A LIQUID MULCH BINDER APPLIED AT A RATE OF ONE GALLON PER 1,000 SQUARE FEET OR BY APPROVED METHODS (I.E.FEO AND NINEK; MULCH NETTING).
2. BETWEEN OCTOBER 1 AND MARCH 1 AND WHEN THE SEASON PROHIBITS IMMEDIATE LANDSCAPING, APPLYING THE ABOVE-MENTIONED ITEMS "d)" AND "e)" WILL BE ADEQUATE.
3. SEEDING DATES, THE FOLLOWING ARE THE RECOMMENDED SEEDING DATES FOR THE ESTABLISHMENT OF TEMPORARY OR PERMANENT VEGETATION:
 - a) SPRING: MARCH 1 – MAY 15
 - b) FALL: AUGUST 15 – OCTOBER 1

11. IN THAT NJSA 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL ARE COMPLETED. THE CERTIFIED PLAN SHALL BE REVIEWED BY THE NJ STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE NJ STATE DEPARTMENT OF TREASURY AND REVENUE. THE CERTIFIED PLAN SHALL BE REVIEWED BY THE NJ STATE DEPARTMENT OF TREASURY AND REVENUE. THE CERTIFIED PLAN SHALL BE REVIEWED BY THE NJ STATE DEPARTMENT OF TREASURY AND REVENUE. THE CERTIFIED PLAN SHALL BE REVIEWED BY THE NJ STATE DEPARTMENT OF TREASURY AND REVENUE. THE CERTIFIED PLAN SHALL BE REVIEWED BY THE NJ STATE DEPARTMENT OF TREASURY AND REVENUE. THE CERTIFIED PLAN SHALL BE REVIEWED BY THE NJ STATE DEPARTMENT OF TREASURY AND REVENUE. THE CERTIFIED PLAN SHALL BE REVIEWED BY THE NJ STATE DEPARTMENT OF TREASURY AND REVENUE. THE CERTIFIED PLAN SHALL BE REVIEWED BY THE NJ STATE DEPARTMENT OF TREASURY AND REVENUE. 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