

BLOCK 4202, LOT 18
4 HUGHES PLACE
CITY OF SUMMIT, NEW JERSEY

DRAWING LIST

A-1	TITLE SHEET , GENERAL NOTES, CODE, ZONING ANALYSES, SITE PLAN
A-2	BASEMENT FLOOR PLAN, FIRST FLOOR PLAN, FRAME NOTES, CONSTRUCTION LEGEND, DETAILS
A-3	SECOND FLOOR PLAN, ROOF PLAN, FRAME NOTES, CONSTRUCTION LEGEND, SECTION A
A-4	ELEVATIONS, DETAILS, SECTION A
E-1	BASEMENT ELECTRICAL PLAN, FIRST FLOOR ELECTRICAL PLAN, SECOND FLOOR PLAN, ELECTRICAL LEGEND
P-1	SANITARY RISER DIAGRAM, WATER PIPING DIAGRAM, GAS RISER DIAGRAM

<p>DISCREPANCIES OR QUALIFICATIONS WHICH MAY ARISE. FAILURE TO NOTIFY WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF PERFORMING THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL MAKE ALL CORRECTIONS REQUIRED DUE TO THEIR FAILURE TO COORDINATE SUCH DISCREPANCIES.</p> <p>10. THE TERM "PROVIDE" SHALL MEAN FURNISH AND INSTALL AS IT IS USED THROUGHOUT NOTES ON THE DRAWINGS AND IN THE SPECIFICATIONS.</p> <p>11. CONTRACTOR TO PROVIDE ALL MATERIALS, LABOR, SERVICES, ETC., TO COMPLETE WORK AS OUTLINED BY THESE CONTRACT DOCUMENTS.</p> <p>12. ALL CONSTRUCTION AND EQUIPMENT SHALL BE PROTECTED BY EACH CONTRACTOR DURING THE ENTIRE PERFORMANCE OF THEIR WORK. AREAS DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.</p> <p>13. ALL UNUSED MATERIALS AND DEBRIS SHALL BE LEGALLY DISPOSED OF AWAY FROM THE PREMISES. NO ON-SITE STORAGE, BURNING, OR DUMPING OF DEBRIS SHALL BE ALLOWED.</p> <p>14. THE CONTRACTOR SHALL PROVIDE PROTECTION FOR THE PUBLIC, STAFF, CONSTRUCTION WORKERS IN AND AROUND THE CONSTRUCTION AREA, AND ADJACENT PROPERTY AND PERSONS. ADEQUATE BARRIERS SHALL BE PROVIDED TO EXERCISE CONTROL OF SAFE INGRESS AND EGRESS OF PREMISES. FIRE EXITS SHALL AT NO TIME BE BLOCKED. BARRICADE ALL UNSAFE OR INJURIOUS CONDITIONS.</p> <p>15. THE CONTRACTOR SHALL STORE MATERIALS ACCORDING TO THE MANUFACTURER'S RECOMMENDED PROCEDURES. ALL MATERIALS SHALL BE PROTECTED FROM INCLEMENT WEATHER.</p> <p>16. ANY AND ALL JOINTS, CRACKS, PENETRATIONS, ETC. AT THE EXTERIOR OF THE BUILDING, SHALL BE FILLED WITH A WEATHERPROOF SEALANT.</p> <p>17. ANY AND ALL INTERIOR JOINTS OR CRACKS IN MATERIALS OR BETWEEN ITEMS OR MATERIALS SHALL BE FILLED WITH THE APPROPRIATE SEALANT AS REQUIRED.</p> <p>18. CONCRETE MASONRY UNIT OPENING DIMENSIONS GIVEN ARE NOMINAL. CONTRACTORS SHALL COORDINATE THE FABRICATION OF FLOOR FRAMES, WINDOW FRAMES, AND OTHER ITEMS INSTALLED IN CONCRETE, ETC., TO ACCOMMODATE ACTUAL DIMENSIONS WITH AND WITHOUT MORTAR JOINTS AS THEY OCCUR.</p> <p>19. MISCELLANEOUS WOOD, FRAMING MEMBERS, ANCHORS, FASTENERS, ETC. SHALL BE PROVIDED AS REQUIRED. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS.</p> <p>20. ALL EXTERIOR STEEL, INCLUDING DOORS, FRAMES, WINDOWS, LOUVERS, ETC. SHALL BE GALVANIZED.</p> <p>21. EXTERIOR FRAMING LUMBER, BLOCKING, NAILERS, ETC. AND/OR FRAMING LUMBER IN CONTACT WITH MASONRY OR CONCRETE FLOOR SLABS SHALL BE PRESURE TREATED WITH A WOOD PRESERVATIVE.</p> <p>22. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PATCHING RESULTING FROM DEMOLITION OPERATIONS MATCH ADJACENT MATERIALS AND FINISHES.</p> <p>23. CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING TO SUPPORT THE EXISTING STRUCTURE UNTIL PERMANENT SUPPORTS ARE ERECTED. TAKE ALL NECESSARY MEASURES TO PREVENT COLLAPSE OF WALLS, SLABS, ETC.</p> <p>24. CONTRACTOR SHALL FIRESTOP ALL PENETRATIONS AS REQUIRED TO MAINTAIN THE DESIGNATED FIRE RATED CONSTRUCTION, WHETHER EXISTING OR NEW.</p> <p>25. UNLESS FACTORY FINISHED, OR OTHERWISE SPECIFICALLY NOTED ON THE DRAWINGS, ALL EXPOSED SURFACES (BOTH ON THE INTERIOR & EXTERIOR OF THE BUILDING) SHALL BE PAINTED / COATED WITH COLOR TO BE SELECTED BY THE ARCHITECT OR AS DIRECTED BY THE OWNER.</p> <p>26. DO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY.</p> <p>27. THE ACTUAL SCOPE OF DEMOLITION SHALL NOT BE LIMITED TO WHAT IS SPECIFICALLY CALLED OUT ON THE DRAWINGS, BUT SHALL INCLUDE ANY AND ALL SELECTIVE DEMOLITION AS MAY BE NECESSARY TO ACCOMPLISH THE INTENDED CONSTRUCTION. THIS APPLIES TO THE WORK OF ALL TRADES.</p>	BUILDING DATA:				ZONING ANALYSIS:			
	NUMBER OF STORIES	1 1/2	ZONE: R-6 ZONE		REQUIRED	EXISTING	PROPOSED	COMMENTS
	EXISTING SQUARE FOOTAGE							
	FIRST FLOOR LIVING AREA	816 S.F.	PERMITTED USE:				YES	
	COVERED SCREEN PORCH TO BE ENCLOSED	128 S.F.	LOT AREA		6,000 S.F.	9,069 S.F.	9,069 S.F.	COMPLIES
	SECOND FLOOR LIVING AREA	380 S.F.	FRONTAGE		60'	+/-111.69'	+/-111.69'	COMPLIES
	TOTAL LIVING AREA	1,196 S.F.	DEPTH		-	+/-151.10'	+/-151.10'	
	DETACHED 2 CAR GARAGE	441 S.F.	SETBACKS					
	EXISTING MACADAM	842 S.F.	FRONT YARD MIN		25'	14'-4" , 36'-3"	14'-4" , 36'-3"	*ENC
	EXISTING REAR STAIR TO BE REMOVED	16 S.F.	REAR YARD MIN		30'	-	-	CONFRM W/ ZONING
	EXISTING FRONT STAIR TO BE ENLARGED	23 S.F.	SIDE YARD MIN		8'	29'-0"	29'-0"	
	PROPOSED SQUARE FOOTAGE	943 S.F.	EACH SIDE			55'-5"	55'-5"	COMPLIES
	FIRST FLOOR LIVING AREA	78 S.F.	MIN. TOTAL SIDE YARD		33%	-	-	
	SECOND FLOOR NEW DORMER AREA	458 S.F.	STORIES		2	1 1/2	1 1/2	COMPLIES
	SECOND FLOOR AREA	1,401 S.F.	HEIGHT		35'	+/-19'-9"	+/-19'-9"	COMPLIES
	TOTAL FLOOR BUILDING AREA	36 S.F.	*BUILDING COVERAGE MAX		20%	15.26%	15.26%	COMPLIES
	EXISTING FRONT STAIR TO BE ENLARGED	254 S.F.	**MAXIMUM % OF LOT COVERAGE		40%	24.98%	29.26%	COMPLIES
	NEW FRONT CONCRETE WALK	138 S.F.	**MAXIMUM FLOOR AREA RATIO		35%	14.59%	15.45%	COMPLIES
	NEW REAR CONCRETE WALK		*ENC - EXISTING NON CONFORMING					
			**BUILDING COVERAGE					
			**EXISTING LOT COVERAGE					
			*PROPOSED LOT COVERAGE					
			**EXISTING FLOOR AREA RATIO					
			*PROPOSED FLOOR AREA RATIO					

BUILDING CODE INFORMATION **NEW JERSEY BUILDING CODES:**

INTERNATIONAL RESIDENTIAL CODE - NJ ED. 2021
NATIONAL STANDARD PLUMBING CODE 2021
NATIONAL ELECTRICAL CODE 2020,
INTERNATIONAL ENERGY CONSERVATION CODE 2021
INTERNATIONAL MECHANICAL CODE 2021

BUILDING DESCRIPTION
USE GROUP CLASSIFICATION
R-5 (ONE FAMILY DWELLING)

CONSTRUCTION CLASSIFICATION
TYPE V-B

CONSTRUCTION SUMMARY INTERIOR EXTERIOR ALTERATION FIRST FLOOR, SECOND FLOOR

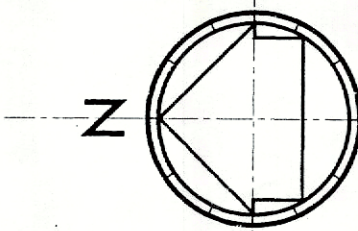
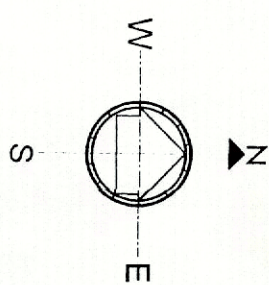
DRAWING LIST

- | | |
|-----|---------------------------------------------------------------------------------------------|
| A-1 | TITLE SHEET , GENERAL NOTES, CODE, ZONING ANALYSES, SITE PLAN |
| A-2 | BASEMENT FLOOR PLAN, FIRST FLOOR PLAN, FRAME NOTES, CONSTRUCTION LEGEND, DETAILS |
| A-3 | SECOND FLOOR PLAN, ROOF PLAN, FRAME NOTES, CONSTRUCTION LEGEND, SECTION A |
| A-4 | ELEVATIONS, DETAILS, SECTION A |
| E-1 | BASEMENT ELECTRICAL PLAN, FIRST FLOOR ELECTRICAL PLAN, SECOND FLOOR PLAN, ELECTRICAL LEGEND |
| P-1 | SANITARY RISER DIAGRAM, WATER PIPING DIAGRAM, GAS RISER DIAGRAM |

ZONING ANALYSIS:

ZONE: R-6 ZONE					
	REQUIRED	EXISTING	PROPOSED	COMMENTS	
PERMITTED USE:			YES		
LOT AREA	6,000 S.F.	9,069 S.F.	9,069 S.F.		COMPLIES
FRONTAGE	60'	+/-111.69' +/-151.10'	+/-111.69' +/-151.10'		COMPLIES
DEPTH	-				
SETBACKS					
FRONT YARD MIN	25'	14'-4" , 36'-3" 13'-6" , 16'-5"	14'-4" , 36'-3" 13'-6" , 16'-5"	*ENC	CONFIRM W/ ZONING
REAR YARD MIN	30'	-	-		
SIDE YARD MIN	8'	29'-0" 55'-5"	29'-0" 55'-5"		COMPLIES
EACH SIDE					
MIN. TOTAL SIDE YARD	33%	-	-		
STORIES					
STORIES	2	1 1/2	1 1/2		COMPLIES
HEIGHT					
HEIGHT	35'	+/-19'-9"	+/-19'-9"		COMPLIES
BUILDING					
COVERAGE MAX	20%	15.26%	15.26%		COMPLIES
**MAXIMUM % OF LOT COVERAGE					
**MAXIMUM FLOOR AREA RATIO	35%	14.59%	15.45%		COMPLIES

LOCATION MAP



DANTAS CARRETE
architecture

$$\frac{O}{O}$$

427 CHESTNUT STREET, SUITE 302
UNION, NEW JERSEY 07083
p 908 998 2422 f 908 741 4160
www.danlascarrele.com

PAULO J. M. DANTAS, RA
A1017704

		THESE DRAWINGS AND PARTS THEREOF ARE THE DANISHSCAPE ARCHITECTURE, LLC PROPERTY AND ARE NOT TO BE REPRODUCED OR ANY OTHER PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE PREPARED. THESE DRAWINGS OR PARTS THEREOF CANNOT BE REPRODUCED WITHOUT THE EXPRESS WRITTEN DANISHSCAPE ARCHITECTURE, LLC
06.26.23	△	Phase #2 / As per Town
Date	Rev #	Description
REVISION RECORD		

[illegible]

INTERIOR
ALTERATIONS
AND ADDITION
TO AN
EXISTING ONE FAMILY
DWELLING

BLOCK: 4202, LOT: 18
4 HUGHES PLACE
CITY OF SUMMIT, NEW JERSEY

DRAWN BY	NA
CHECKED BY	PD
PROJECT NO.	2023-014

TITLE SHEET

SHEET NAME

A-1

Date	Rev #	Description
		REVISION RECORD

Date	Permits Set	Description
2023.04.21		Issue for Record

INTERIOR
ALTERATIONS
AND ADDITION
TO AN
EXISTING ONE FAMILY
DWELLING

BLOCK 4222 LOT 16
4 HUGHES PLACE
CITY OF SUMMIT, NEW JERSEY

DRAWN BY	NA
CHECKED BY	PD
PROJECT NO.	2023-014

BASEMENT PLAN,
FIRST FLOOR PLAN,
FRAMING NOTES, DETAILS

FRAMING NOTES

1. DOUBLE FLOOR JOIST UNDER ALL BEARING PARTITIONS, BATHTUBS, JACUZZI, SOAKING TUB, KITCHEN ISLAND AND POSTS.
2. TYPICAL HEADER AT DOOR AND WINDOW AT 6" THICK WOOD STUD WALL SHALL BE: 2X12 OR LESS (2X12X10' UNLESS OTHERWISE NOTED), 2X10 OR LESS (2X10X10' UNLESS OTHERWISE NOTED), 2X8 OR LESS (2X8X10' UNLESS OTHERWISE NOTED).
3. ALL WINDOW HEADS HEIGHT AT:
 - FIRST FLOOR: 6'-8" A.F.F. UNLESS OTHERWISE NOTED.
 - SECOND FLOOR: 6'-8" A.F.F. UNLESS OTHERWISE NOTED.WINDOW SILL BEAT SHALL BE 1/2" GYP. BD ON EACH SIDE OF WINDOW SILL HEIGHT AND WINDOWS FALL PREVENTION DEVICES.
- EGRESS WINDOW MINIMUM OPENING AREA SHALL HAVE NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET, NET CLEAR HEIGHT NOT LESS THAN 24" AND NET CLEAR WINDOW SILL HEIGHT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR FOR EGRESS.
4. WINDOW SILL HEIGHT SHALL BE 24" MIN. FROM FINISH FLOOR TO THE LOWEST PART OF WINDOW OPENING CONTROL DEVICE THAT COMPLY WITH ASTM F2089 AT LOCATIONS.
5. ALL CLOSETS TO RECEIVE (2) 2X4 POSTS AT CLOSET POLE LOCATIONS.
6. DOOR SIZES AS FOLLOWS (UNLESS OTHERWISE NOTED):
 - ALL EXT. DOORS: 3'-0" X 6'-8"
 - ALL INTERIOR DOORS MIN. U.O.N. 2'-8" X 6'-8"
 - INSTALL ALL DOORS 4" OFF WALL AT HINGE SIDE OR CENTERED WITH WALL UNLESS OTHERWISE NOTED.
7. ALL GIRDERS AND BEAMS TO BE FLUSH MOUNTED INSIDE CEILING UNLESS OTHERWISE NOTED.
8. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE CONTINUOUS RUN OF TREADS WITH FOUR OR MORE FLIGHTS.
 - HEIGHT 36" WITH BALUSTERS AT 4" O.C. (MIN.) AND BOTTOM RAIL OF 6" (MAX.)
 - 1-1/2" DIA. GRIP SIZE
 - HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAILS
- GUARDRAILS
 - HEIGHT 36" WITH BALUSTERS AT 4" O.C. (MIN.) AND BOTTOM RAIL OF 6" (MAX.)
- HANDRAIL AND GUARDRAIL SHALL RESIST A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY POINT AND DIRECTION, UNIFORM LOAD OF 50 LBS. PER LINEAR FOOT APPLIED HORIZONTALLY AND CONCURRENTLY WITH UNIFORM LOAD OF 100 LBS. PER LINEAR FOOT APPLIED VERTICALLY DOWNWARD.

GYPSUM BOARD NOTES:

- PROVIDE AT PERIMETER OF ALL BATHTUBS AND SHOWERS TYPICAL.
- CEMENT BOARD OR TILE BACKER BOARD
- CERAMIC TILE TO EXTEND 6'-0" MIN. IN HEIGHT ABOVE FLOOR
- GYPSUM BOARD USED AS BASE OR BACKER FOR ADHESIVE FOR CERAMIC TILE.
- PROVIDE THE FOLLOWING: GYPSUM WALLBOARD AND
- 5/8" WATER-RESISTANCE GYPSUM CEILING BOARD AT BATHROOM LOCATION TYPICAL AT ALL BATHROOMS

ELECTRICAL NOTE:

- 1. ELECTRICAL CONTRACTOR SHALL VERIFY AMPERAGE AND PROPERLY SIZE FOR PROPOSED PROJECT.

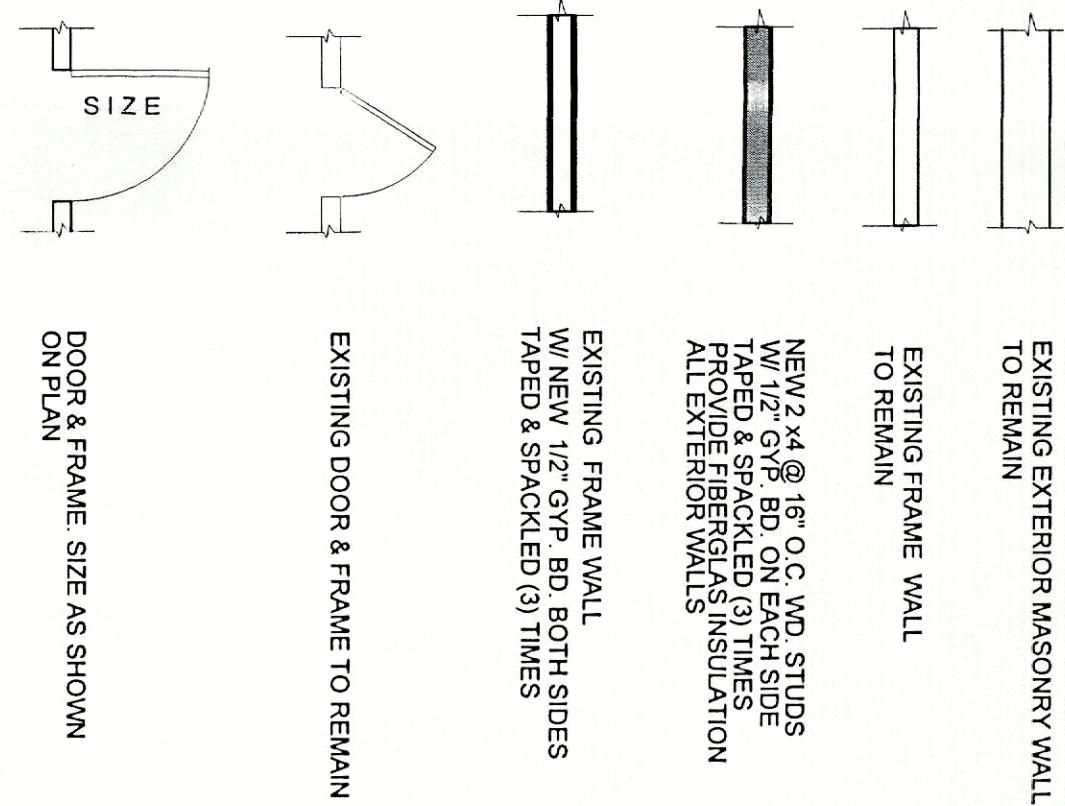
MECHANICAL NOTE:

- 1. MECHANICAL CONTRACTOR SHALL PROPERLY SIZE AND LOCATE HVAC EQUIPMENT.

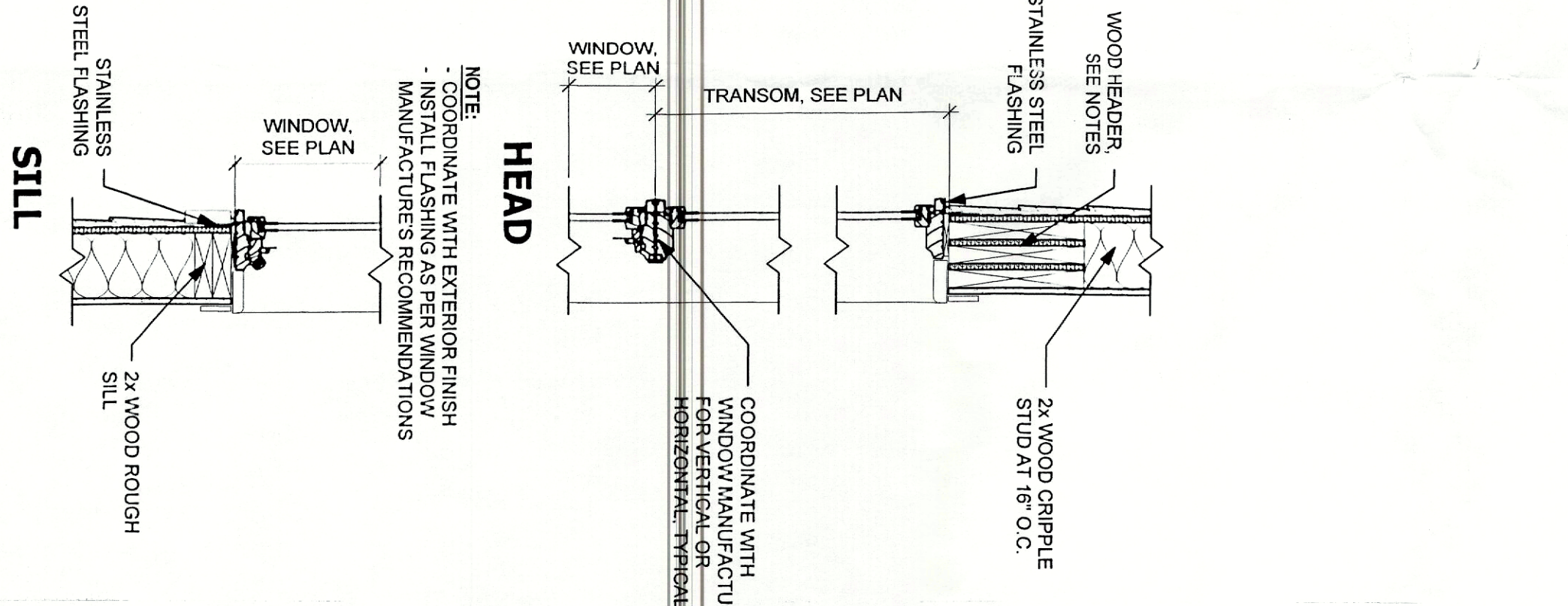
RENOVATION NOTES:

- TV/CABLE, TELEPHONE & INTERNET JACKS TO BE INSTALLED IN ALL BEDROOMS & FAMILY ROOM COORDINATED WITH OWNER FOR FINAL LOCATIONS.
- WHEN ANY WOOD FRAMING IS EXPOSED: WALL, FLOOR, CEILING, ROOF:
 - 1. FIRE BLOCK AS REQUIRED
 - 2. INSULATION TO BE INSTALLED AT ANY ACCESSIBLE VOID TO MEET THE R-VALUES UNLESS THE DUE SPACE CONSTRAINTS FILL CAVITIES OF THE FRAME ASSEMBLY
 - ALL EXISTING WINDOW & DOOR OPENINGS, CONTRACTOR SHALL PROVIDE HEADERS AS PER FRAMING NOTES
 - ALL EXISTING PARTITIONS TO BE LINGUO AND STRUCTURAL DEFICIENT, DETERIORATED AND/OR DAMAGED SHALL BE REINFORCED, SUPPORTED AND/OR REPLACED
- R-VALUES:
 - 2x4 STUD WALL: R-13 FIBERGLASS INSULATION
 - 2x6 STUD WALL: R-19 FIBERGLASS INSULATION
 - 2x8 STUD WALL: R-23 FIBERGLASS INSULATION
 - 2x10 STUD WALL: R-30 FIBERGLASS INSULATION

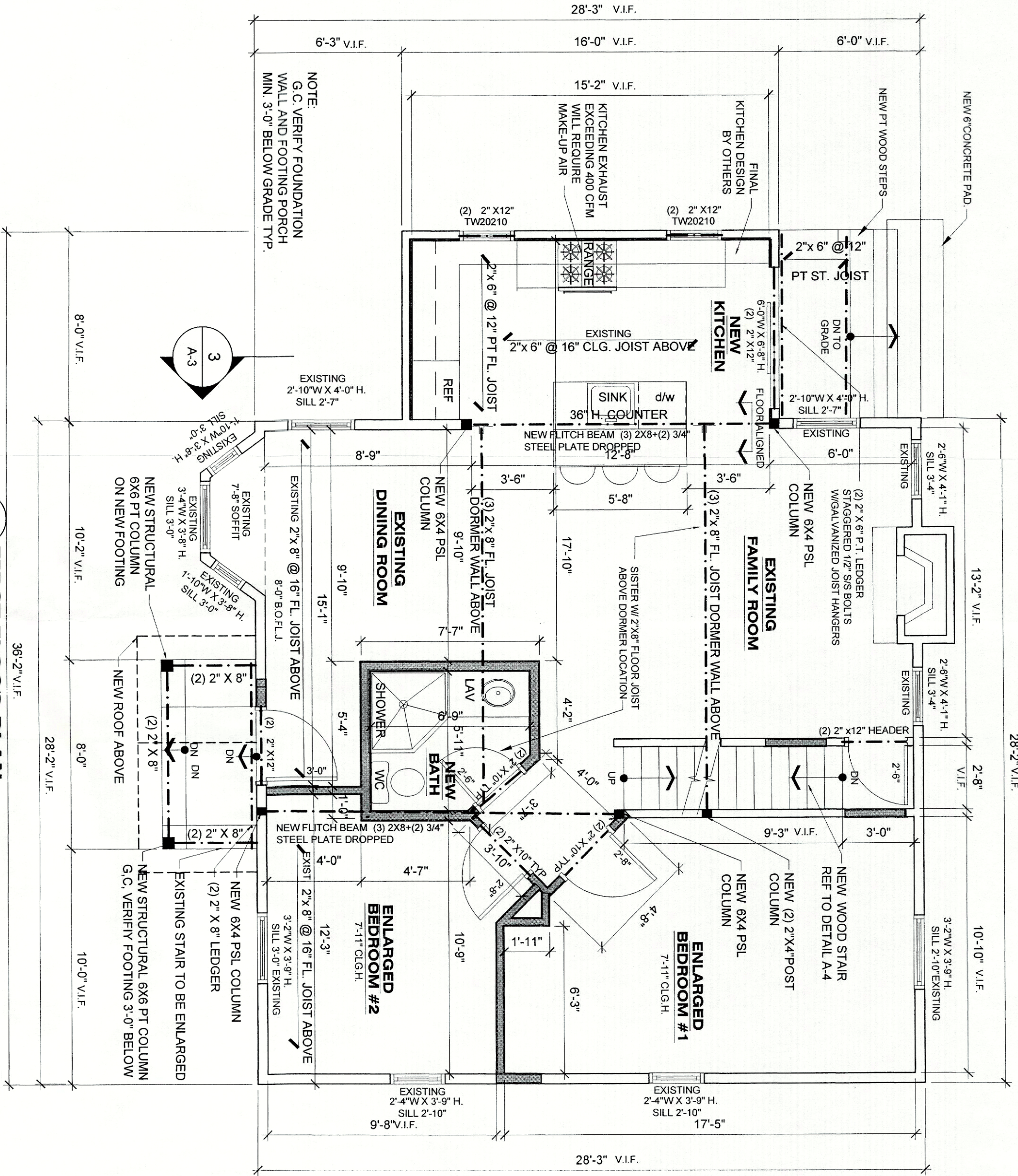
CONSTRUCTION LEGEND



WINDOW DETAIL

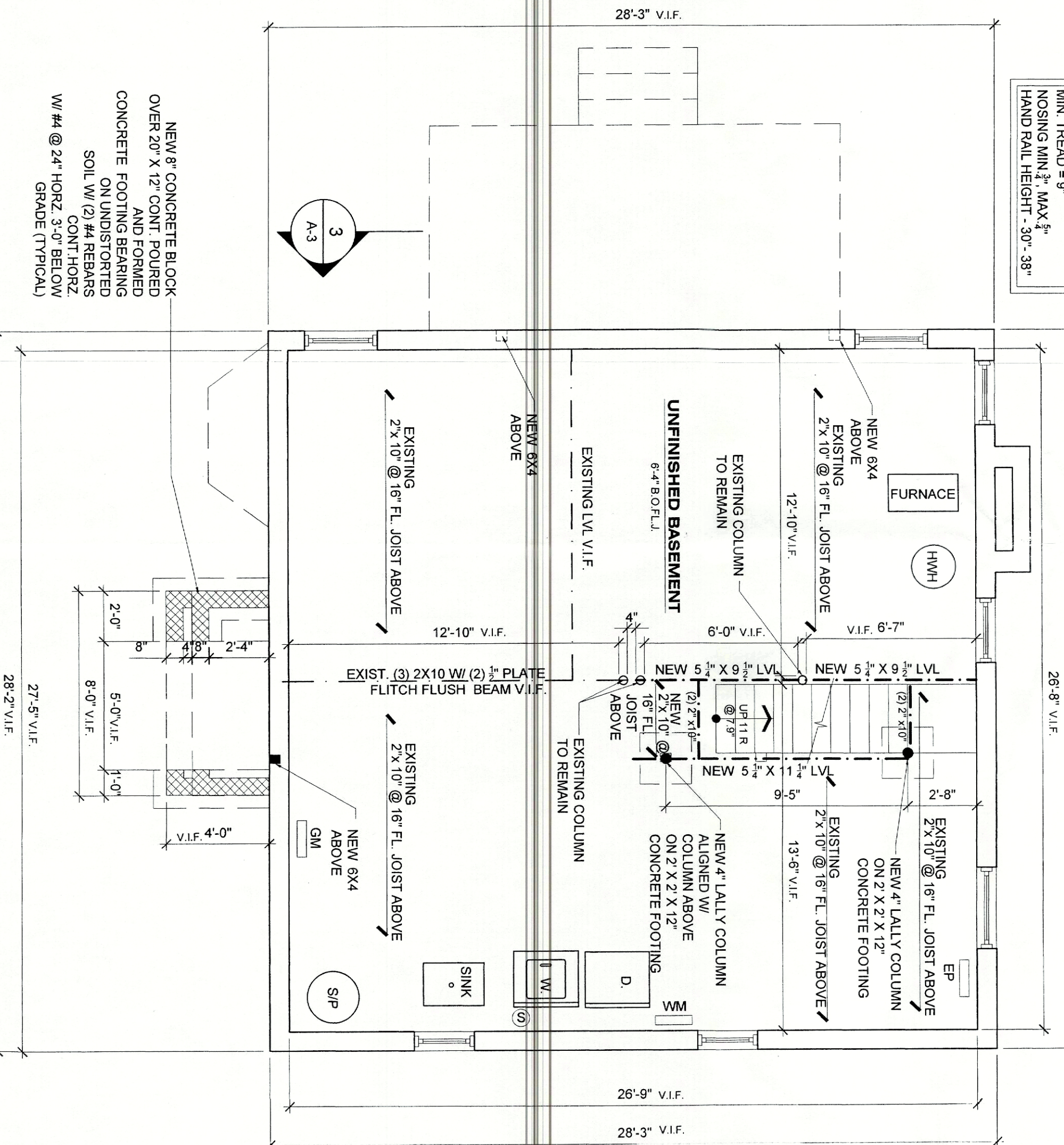


FIRST FLOOR PLAN



NOTE:
STAIR TO BE -
MAX. RISER = 8.25"
TOSING MIN. = 9"
HAND RAIL HEIGHT = 36" - 38"

BASEMENT PLAN



[illegible]

INTERIOR ALTERATIONS AND ADDITION

BLOCK: 4202, LOT: 18
4 HUGHES PLACE
CITY OF SUMMIT, NEW JERSEY

**SECOND FLOOR PLAN,
ROOF PLAN,SECTION A,
DETAILS**

A-3
SHEET NUMBER

SCALE: 1/4" = 1'-0"

SCALE: 3/4" = 1'-0"

EXIST 2X6 @ 16" O.C.
CEILING JOIST

NEW FINISH FLOOR AS PER OWNER
1/2" UNDERLAYMT GRADE PLYWD.
2X6 @ 12 PT. FLOOR JOISTS
WOOD SLEEPER @ 12" O.C. AS REQ.
TO ALIGN W/ EXISTING FLOOR
15# BLDG. PAPER
ON EXISTING CONCRETE SLAB

EXIST FOOTING V.L.F. _____

NOTE: G.C. VERIFY PORCH FOUNDATION WALL AND FOOTING

3'-0" MIN. BELOW GRADE TYP.

EXIST FOUNDATION WALL V.I.F.

R-21 BATT INSULATION

AB —

EXISTING GRADE

EXISTING GRADE

EXISTING BORCH SI AB/EI OOB

200

EXISTING TOP PLATE

427 CHESTNUT STREET, SUITE 302
UNION, NEW JERSEY 07083
p 908 998 2422 f 908 741 4160
www.dantascarrete.com

PAULO J. M. DANTAS, RA
A1017704

THESE DRAWINGS AND PARTS THEREOF ARE THE
EXCLUSIVE PROPERTY OF
DANTASCARBETE ARCHITECTURE, LLC
THIS DOCUMENT AND THE INFORMATION THAT IT
CONTAINS MAY NOT BE REPRODUCED OR USED FOR
ANY
OTHER PROJECT OTHER THAN THE SPECIFIC PROJECT
FOR WHICH IT WAS PREPARED. THESE DRAWINGS
CANNOT BE
REPRODUCED WITHOUT THE EXPRESSED WRITTEN
PERMISSION FROM
DANTASCARBETE ARCHITECTURE, LLC

[illegible][illegible]

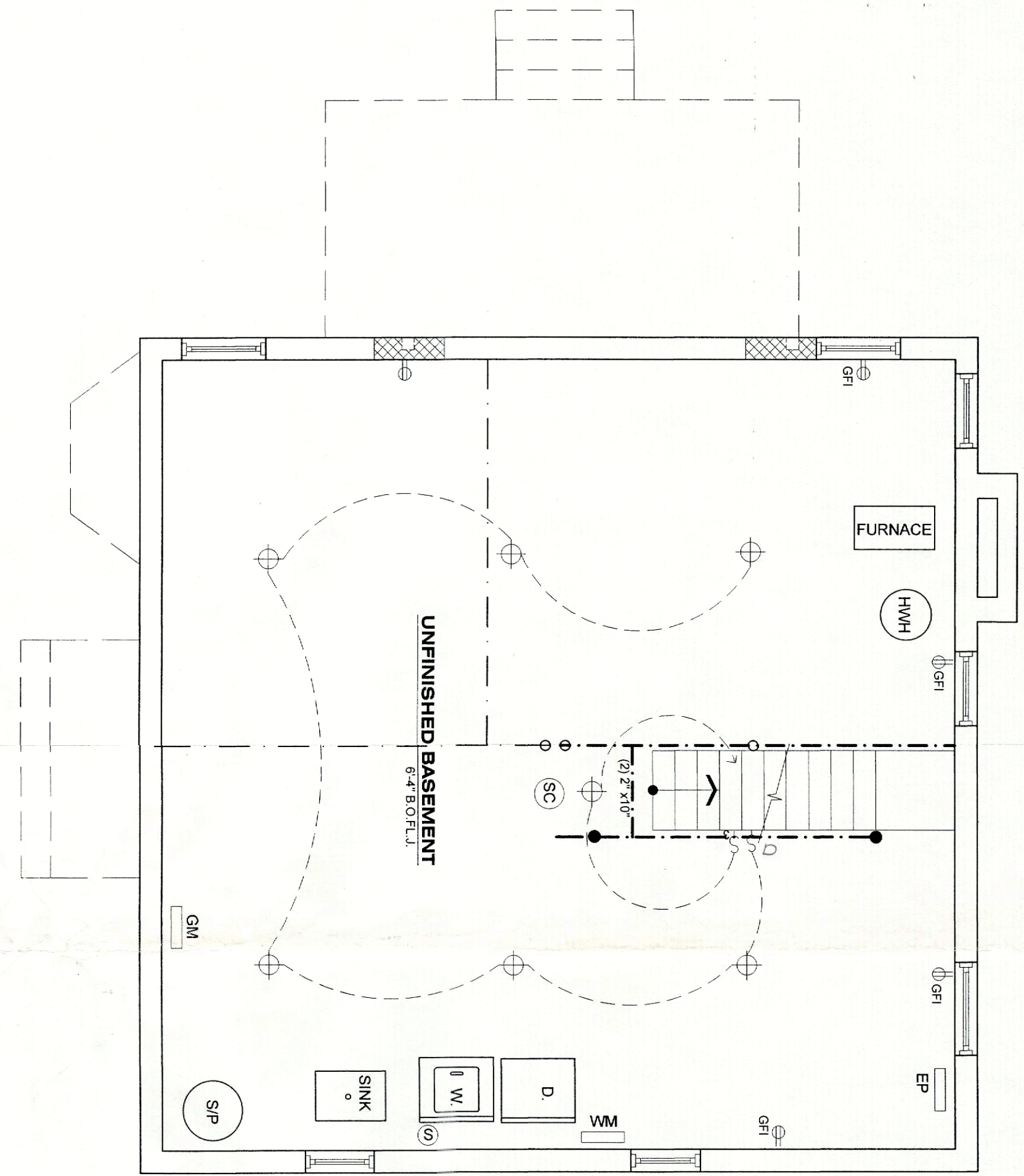
INTERIOR
ALTERATIONS
AND ADDITION
TO AN
EXISTING ONE FAMILY
DWELLING

BLOCK: 4202, LOT: 18
4 HUGHES PLACE
CITY OF SUMMIT, NEW JERSEY

DRAWN BY	NA
CHECKED BY	PD
PROJECT NO.	2023-014

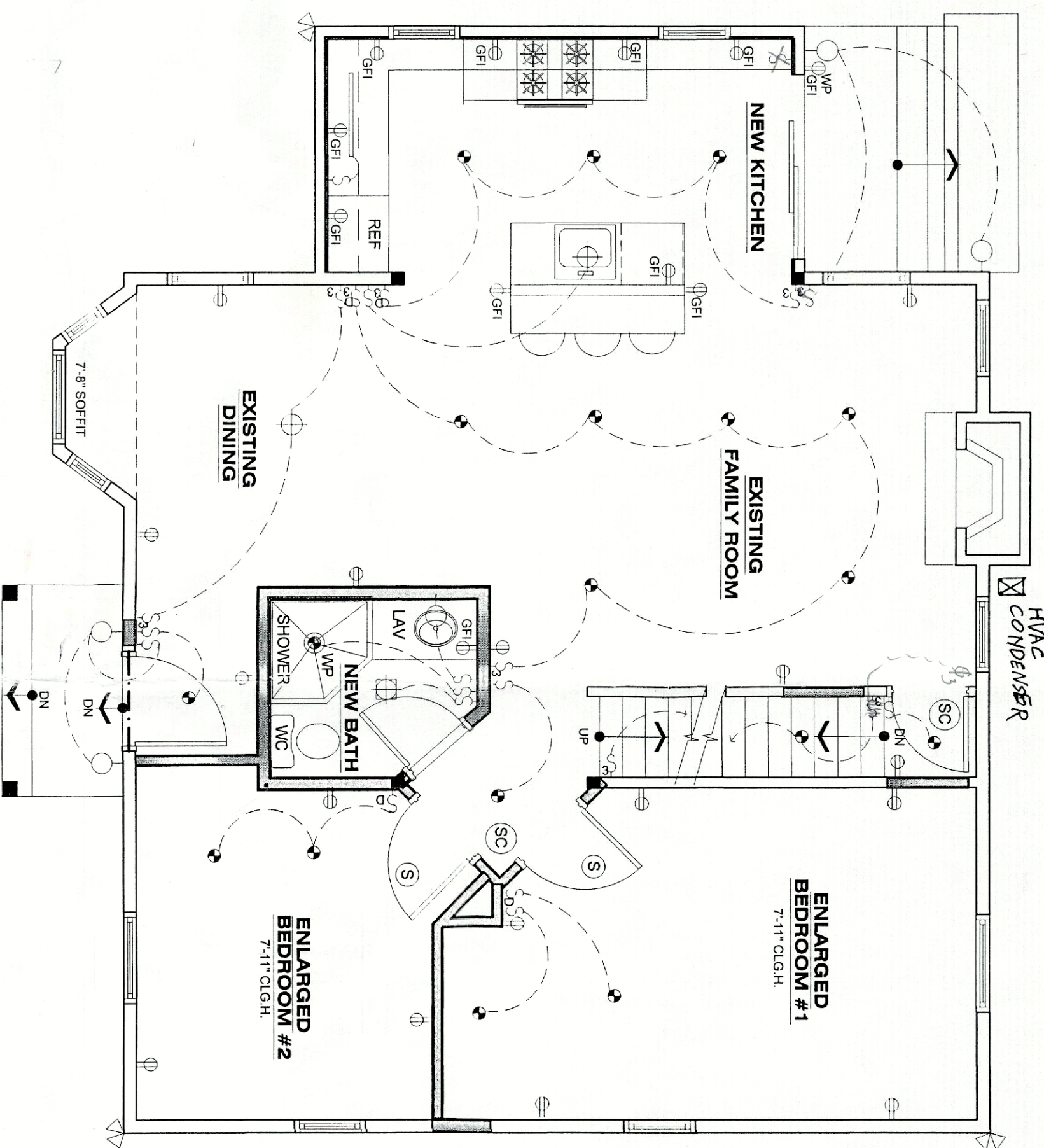
**BASEMENT
ELECTRICAL PLAN,
FIRST FLOOR ELECTRICAL PLAN,
SECOND FLOOR ELECT. PLAN,
ELECTRICAL LEGEND**

E-1



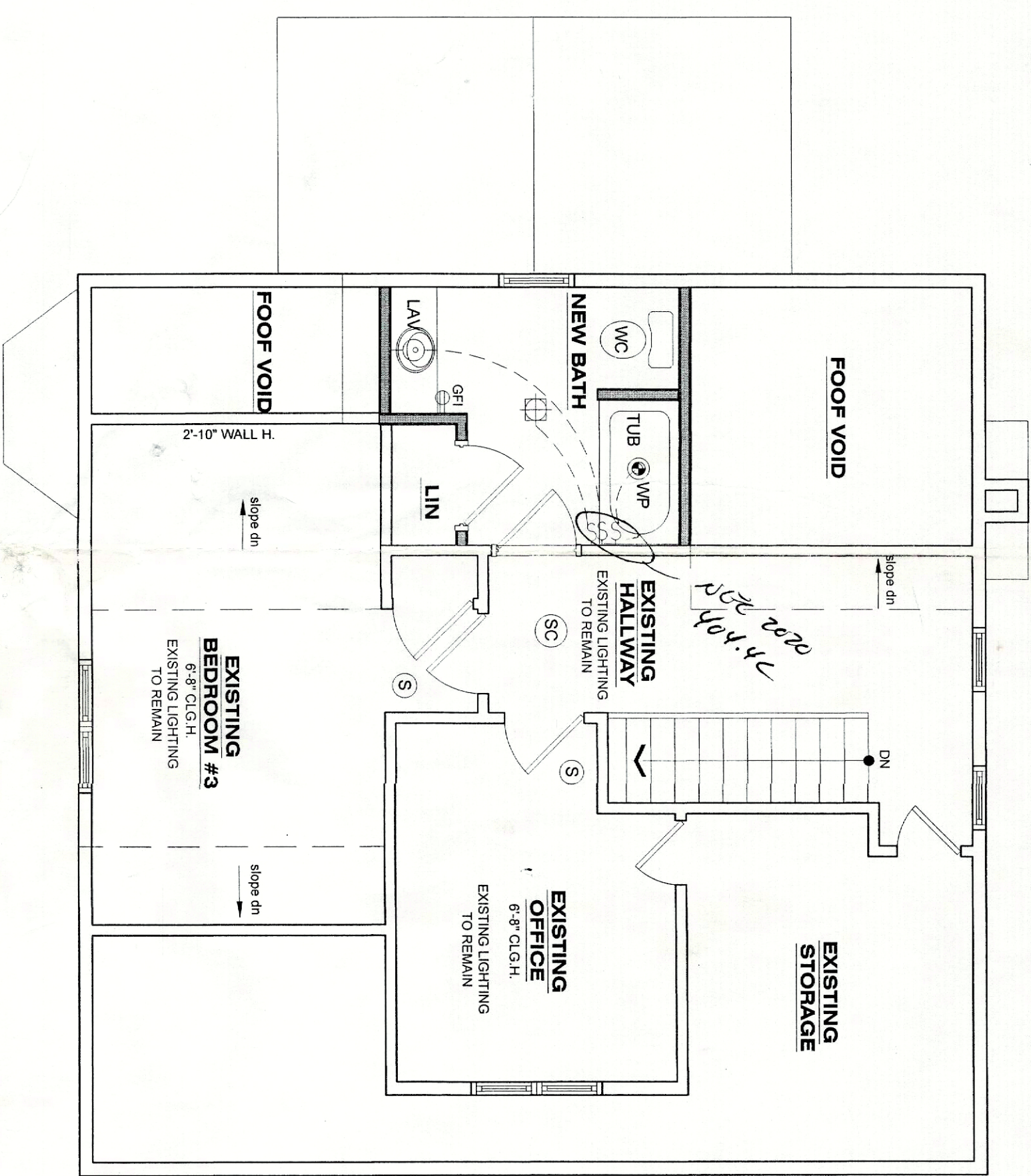
1 BASEMENT ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"










3 SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

- RECESSED LIGHT (SEA GULL 14800S-15, 11W/LED) OR EQUAL
- RECESSED LIGHT (WATER PROOF) (SEA GULL 14801S-15, 9W/LED) OR EQUAL
- CEILING MOUNTED LIGHT FIXTURE (SEA GULL 171689S-902, 28W/LED) OR EQUAL

- | | |
|-----------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
|  | PENDANT LIGHT FIXTURE (SEAGULL 66160-839 - 13.5W/LED) OR EQUAL |
|  | WALL MOUNTED LIGHT FIXTURE (SEAGULL 4635791S-04-22W/LED) OR EQUAL |
|  | LIGHT FIXTURE w/ EXHAUST FAN DUCTED TO OUTSIDE
(BROWN/ TONE AERON 10SL/1W) OR EQUAL |
|  | UNDER COUNTER LIGHT FIXTURE |
|  | EXTERIOR MOTION LIGHT |
|  | EXHAUST FAN DUCTED TO OUTSIDE |
|  | DUPLEX CONV. OUTLET |

]

- TV OUTLET
- DATA OUTLET

SINGLE POLE TOGGLE SWITCH

COORD. W/ OWNER A.F.F TO TOP OF BOX
SUBSCRIPTS AT SWITCH INDICATE THE FOLLOWING:

- 3 - TREE WAY
- 4 - FOUR WAY
- 0 - OCCUPANCY MOTION SWITCH
- R - REMOTE CONTROL SWITCH
- D - DIMMER SOLID SWITCH

- ⑤ IONIZATION HARDWARE SMOKE DETECTOR WITH BATTERY BACK-UP (INTERCONNECTED) (SEE NOTE)

- ⑨ HARDWIRE HEAT DETECTOR WITH BATTERY BACK-UP (INTERCONNECTED)

- IONIZATION HARDWARE SMOKE & CARBON DETECTOR (COMBINATION WITH BATTERY BACK-UP (INTERCONNECTED)) (SEE NOTE)

NOTE:

1. PROVIDE SMOKE AND/OR CARBON ALARM DETECTORS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO, 2018 INTERNATIONAL RESIDENTIAL CODE, SECTION R314 & R315
2. FINAL LIGHTS FIXTURES SELECTIONS TO BE COORDINATE WITH OWNER PRIOR TO CONSTRUCTION

06.26.23																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
----------	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

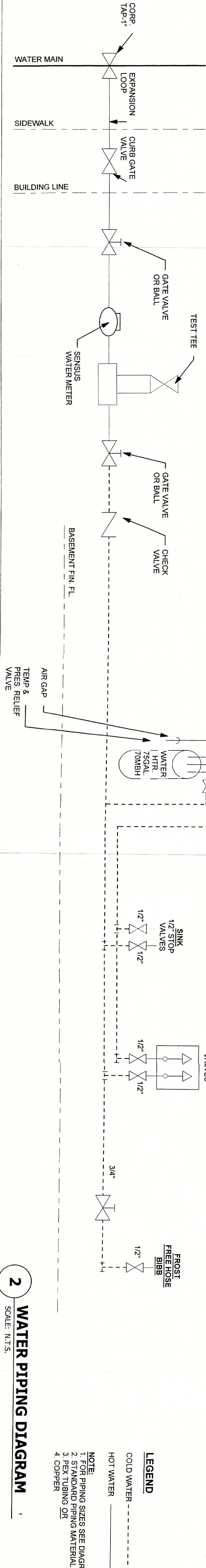
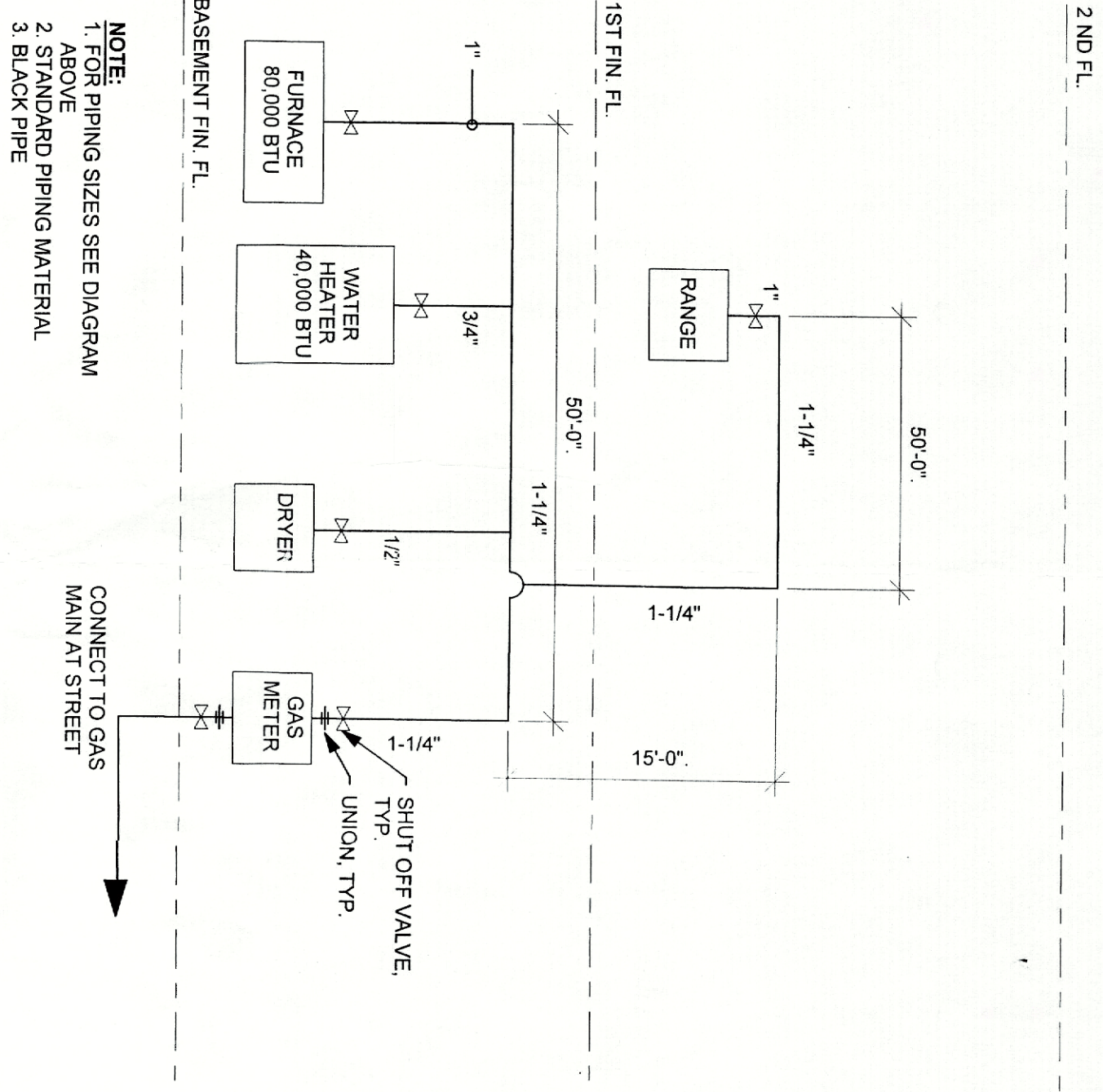
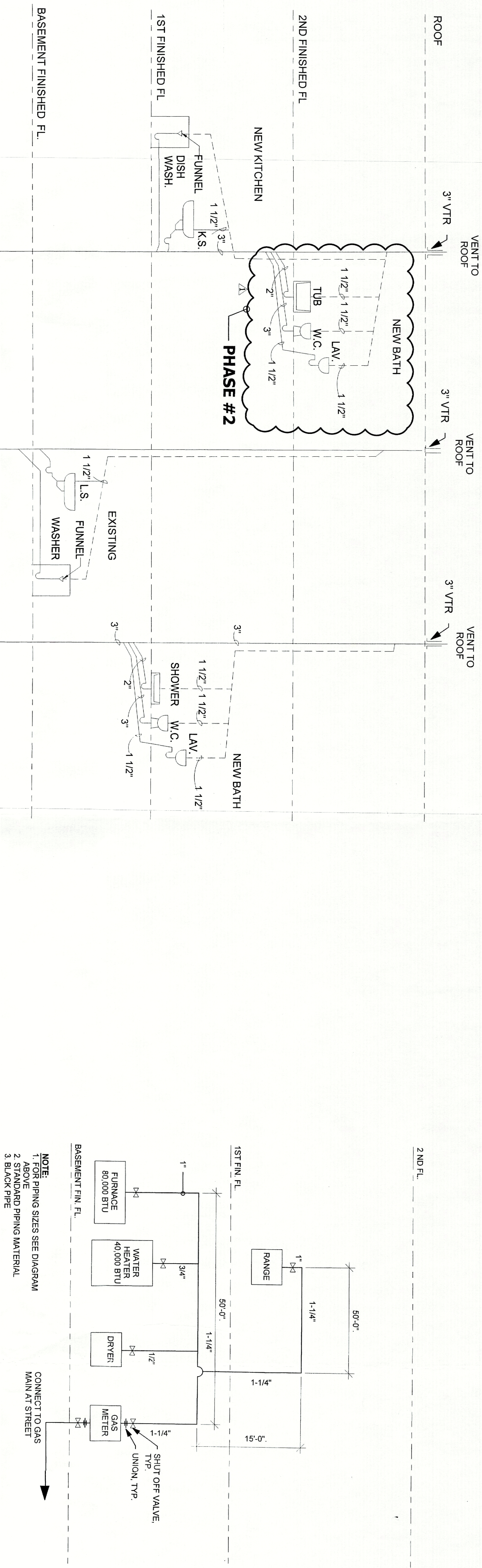
2023.04.21	
Date	Permits Set
Description	
ISSUE FOR RECORD	

INTERIOR
ALTERATIONS
AND ADDITION
TO AN
EXISTING ONE FAMILY
DWELLING

BLOCK 4202 LOT: 18 4 HUGHES PLACE CITY OF SUMMIT, NEW JERSEY	
DRAWN BY	NA
CHECKED BY	PD
PROJECT NO.	2023-014

SANITARY RISER DIAGRAM,
WATER PIPING DIAGRAM,
GAS PIPING DIAGRAM

SHEET NAME	P-1
SHEET NUMBER	



SHEET NAME	P-1
SHEET NUMBER	