

## FRAMING NOTES

1. DOUBLE FLOOR, DUST UNDER, ALL BEARING PARTITIONS, BATHTUBS, JACUZZI, SOAKING THE KITCHEN ISLAND AND DOORS.

2. TYPICAL HEADER AT DOOR AND WINDOW, 6" THICK WOOD STUD WALL SHALL BE.

• OPENING 3'-0" OR LESS: 2'-2" X 10" UNLESS OTHERWISE NOTED

• OPENING 3'-0" TO 5': 3'-2" X 10" UNLESS OTHERWISE NOTED

3. ALL WINDOW HEADS HEIGHT AT:

• FIRST FLOOR: 6'-8" O.C. UNLESS OTHERWISE NOTED

• WINDOWS SHALL BE ANDERSON 200 SERIES, TILT-WASH DOUBLE-HUNG, UNLESS OTHERWISE NOTED

• OTHER WOOD, 1" O.C. UNLESS OTHERWISE NOTED

• OTHER WOOD, 1" O.C. UNLESS OTHERWISE NOTED

• GROUT, SEALANT AND WOOD, PALE PREVENTION TREATMENT, UNLESS OTHERWISE NOTED

• LEAST 7" SCREW FEET, NET CLEAR HEIGHT NOT LESS THAN 24", AND NET CLEAR WIDTH NOT LESS THAN 20", UNLESS OTHERWISE NOTED

• WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR FOR EGRESS.

## CONSTRUCTION LEGEND

EXISTING EXTERIOR MASONRY WALL  
TO REMAIN

EXISTING FRAME WALL  
TO REMAIN

NEW 2" X 12" G.P. WD. STUDS  
W/ 1/2" G.P. BD. ON EACH SIDE  
TAPE & SPACKLED 3 TIMES  
PROVIDE FIBERGLASS INSULATION  
ALTERNATE WALLS

NEW 2" X 12" G.P. WD. STUDS  
TAPED & SPACKLED 3 TIMES

EXISTING FRAME WALL  
W/ 1/2" G.P. BD. BOTH SIDES  
TAPED & SPACKLED 3 TIMES

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

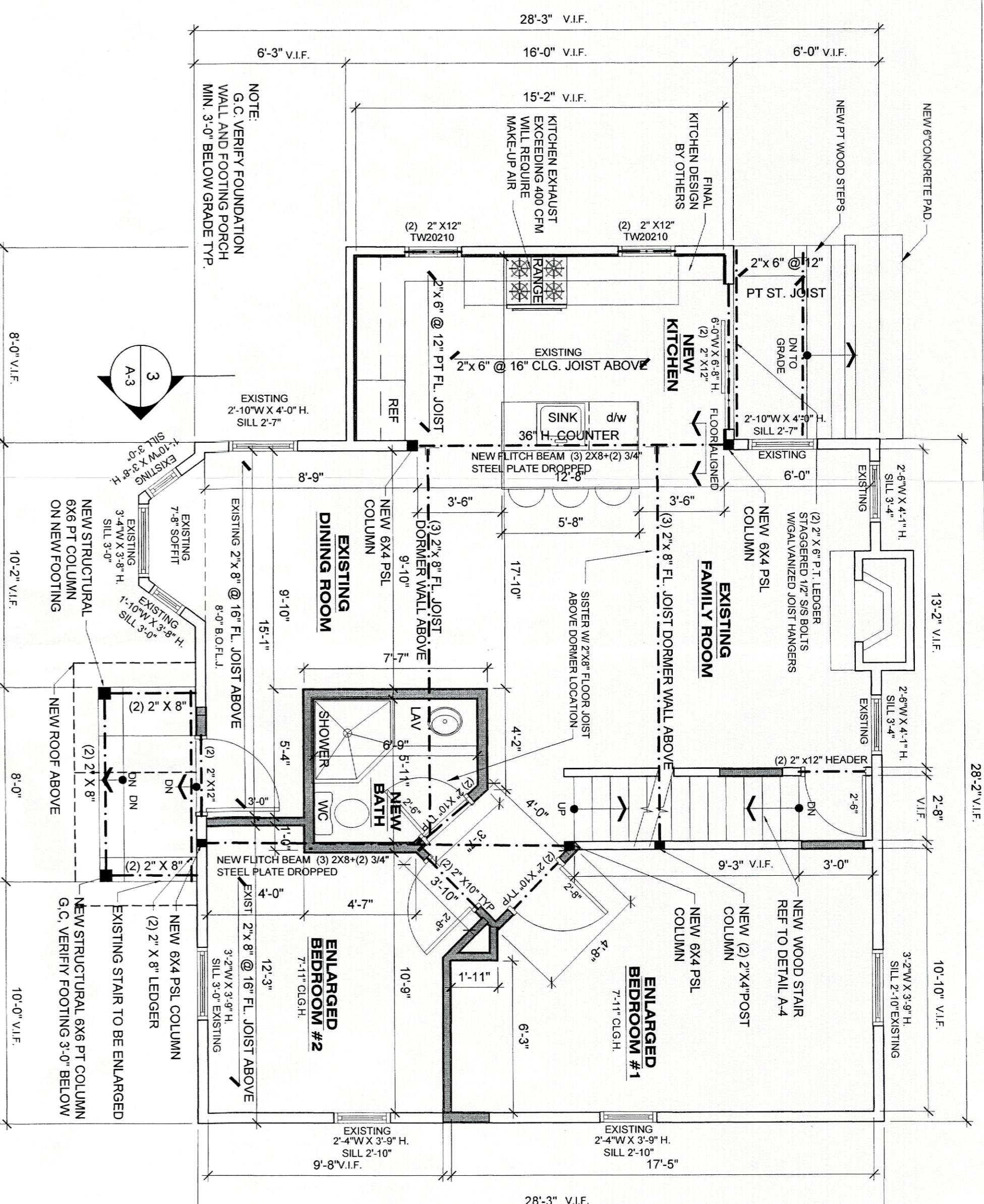
DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

DOOR & FRAME SIZE AS SHOWN  
ON PLAN

EXISTING DOOR & FRAME TO REMAIN

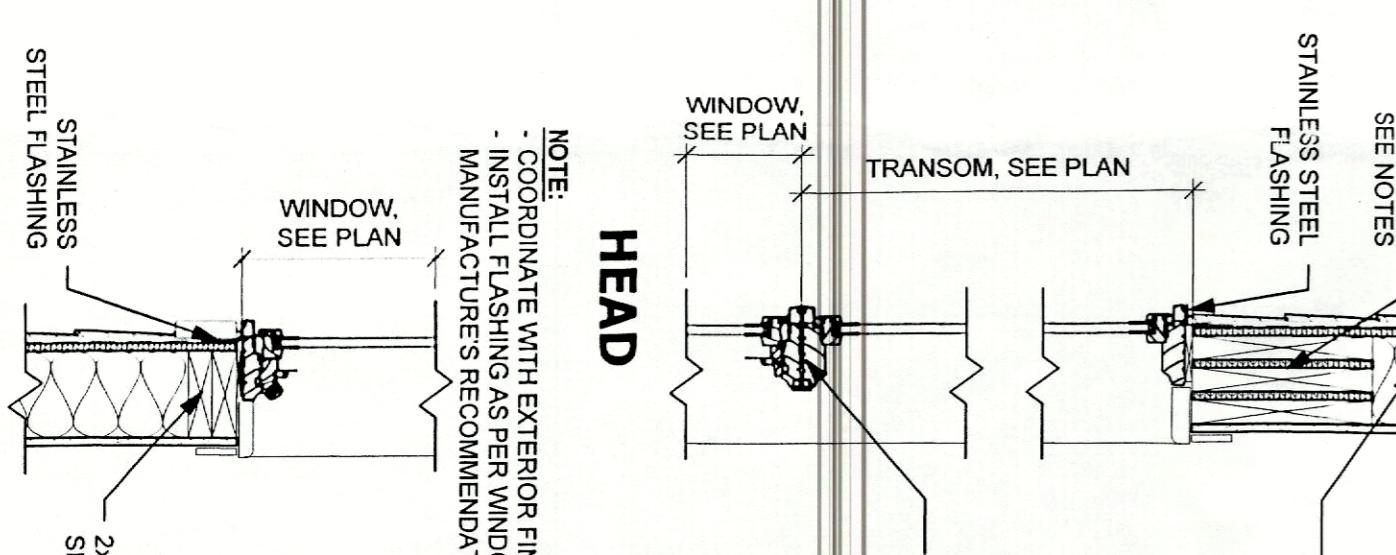
DOOR & FRAME SIZE AS SHOWN  
ON PLAN



## 2 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

28'-2" V.I.F.



## RENOVATION NOTES:

1. MECHANICAL CONTRACTOR SHALL PROPERLY SIZE AND LOCATE HVAC EQUIPMENT.

2. TV, CABLE, TELEPHONE & INTERNET JACKS TO BE INSTALLED IN ALL BEDROOMS & FAMILY ROOM COORDINATED WITH OWNER FOR FINAL LOCATIONS.

3. WHEN ANY WOOD FRAMING IS EXPOSED, WALL, FLOOR, CEILING, ROOF:

• FIRE BLOCKS AS REQUIRED TO PROVIDE THERMAL INSULATION AT ANY ACCESSIBLE VOID TO MEET THE FIRE VALUES AND LOSS THE SPACE CONSTRAINTS IF CAVITIES OF THE EXISTING FRAMING ARE REMOVED. CONTRACTOR SHALL PROVIDE ALL EXISTING DOOR OPENINGS, CONTRACTOR SHALL PROVIDE HEADERS AS PER FRAMING NOTES.

• STRUCTURAL ELEMENTS UNCOVERED TO BE UNSOUND, STRUCTURAL DEFICIENT, DETERIORATED AND/OR DAMAGED SHALL BE REINFORCED, SUPPORTED AND/OR REPAVED.

• 2x4 STUD WALL: R-13 FIBERGLASS INSULATION

• 2x6 STUD WALL: R-19 FIBERGLASS INSULATION

• 2x10 STUD WALL: R-30 FIBERGLASS INSULATION

• STUDS AT 16 O.C.

## GYPSUM BOARD NOTES:

1. PROVIDE AT PERIMETER OF ALL BATHROOMS AND SHOWERS TYPICAL.

• CEMENT BOARD OR TILE BACKER BOARD

• CERAMIC TILE TO EXTEND 6'-0" MIN. IN HEIGHT ABOVE FLOOR.

2. FIREBOARD USED AS BASE BACKER FOR CERAMIC TILE.

3. PROVIDE THE FOLLOWING GYPSUM WALLBOARD AND

• 1/2" DIA. GRIP SIZE

• HEIGHT 95% WITH BALUSTERS AT 4" O.C. (MIN) AND BOTTOM RAIL OF 5" (MAX.)

• 1/2" WATER-RESISTANCE GYPSUM CEILING BOARD AT BATHROOM LOCATION TYPICAL

• SAFETY TILES

• HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2"

• GUARDRAILS WITH BALUSTERS AT 4" O.C. (MIN) AND BOTTOM RAIL OF 6" (MAX.)

• HANDRAIL AND GUARDRAIL SHALL BEA CONCENTRATED LOAD OF 500 LBS APPLIED HORIZONTALLY AND CONCRETELY WITH UNIFORM LOAD OF 100 LBS PER LINEAR FOOT APPLIED VERTICALLY DOWNWARD

## GYPSUM BOARD NOTES:

1. ELECTRICAL CONTRACTOR SHALL VERIFY AMPERAGE AND PROPERLY SIZE FOR PROPOSED PROJECT.

## MECHANICAL NOTE:

1. ELECTRICAL CONTRACTOR SHALL PROPERLY SIZE AND LOCATE HVAC EQUIPMENT.

## GYPSUM BOARD NOTES:

1. PROVIDE AT PERIMETER OF ALL BATHROOMS AND SHOWERS TYPICAL.

• CEMENT BOARD OR TILE BACKER BOARD

• CERAMIC TILE TO EXTEND 6'-0" MIN. IN HEIGHT ABOVE FLOOR.

## GYPSUM BOARD NOTES:

1. PROVIDE AT PERIMETER OF ALL BATHROOMS AND SHOWERS TYPICAL.

• CEMENT BOARD OR TILE BACKER BOARD

• CERAMIC TILE TO EXTEND 6'-0" MIN. IN HEIGHT ABOVE FLOOR.

Date	Rev #	Description
REVISION RECORD		

ISSUE FOR RECORD

2023-04-21

Permits Set

Date

Description

## INTERIOR ALTERATIONS AND ADDITION

TO AN EXISTING ONE FAMILY DWELLING

4 HUGHES PLACE, LOT 18

CITY OF SUMMIT, NEW JERSEY

DRAINED BY

Na

CHECKED BY

PD

PROJECT NO.

2023-04-14

BASEMENT PLAN, FIRST FLOOR PLAN, DETAILS

SHEET NAME

A-2

## 3 WINDOW DETAIL

SCALE: 1" = 1'-0"

## 4 PARTITION TYPE

SCALE: 3/4" = 1'-0"

## 1 BASEMENT PLAN

SCALE: 1/4" = 1'-0"

NEW 8" CONCRETE BLOCK  
OVER 20" X 12" CONCRETE  
FOOTING BEARING  
ON UNDISTORTED  
SOIL W/ (2) #4 REBARS  
CONT'D.  
W#4 @ 24" HORIZONTAL  
GRADE 3'-0" BELOW  
GRADE (TYPICAL)

NEW 8" CONCRETE BLOCK  
AND FORMED  
CONCRETE FOOTING BEARING  
ON UNDISTORTED  
SOIL W/ (2) #4 REBARS  
CONT'D.  
W#4 @ 24" HORIZONTAL  
GRADE 3'-0" BELOW  
GRADE (TYPICAL)

NEW 8" CONCRETE BLOCK  
OVER 20" X 12" CONCRETE  
FOOTING BEARING  
ON UNDISTORTED  
SOIL W/ (2) #4 REBARS  
CONT'D.  
W#4 @ 24" HORIZONTAL  
GRADE 3'-0" BELOW  
GRADE (TYPICAL)

NEW 8" CONCRETE BLOCK  
OVER 20" X 12" CONCRETE  
FOOTING BEARING  
ON UNDISTORTED  
SOIL W/ (2) #4 REBARS  
CONT'D.  
W#4 @ 24" HORIZONTAL  
GRADE 3'-0" BELOW  
GRADE (TYPICAL)

NEW 8" CONCRETE BLOCK  
OVER 20" X 12" CONCRETE  
FOOTING BEARING  
ON UNDISTORTED  
SOIL W/ (2) #4 REBARS  
CONT'D.  
W#4 @ 24" HORIZONTAL  
GRADE 3'-0" BELOW  
GRADE (TYPICAL)

NEW 8" CONCRETE BLOCK  
OVER 20" X 12" CONCRETE  
FOOTING BEARING  
ON UNDISTORTED  
SOIL W/ (2) #4 REBARS  
CONT'D.  
W#4 @ 24" HORIZONTAL  
GRADE 3'-0" BELOW  
GRADE (TYPICAL)

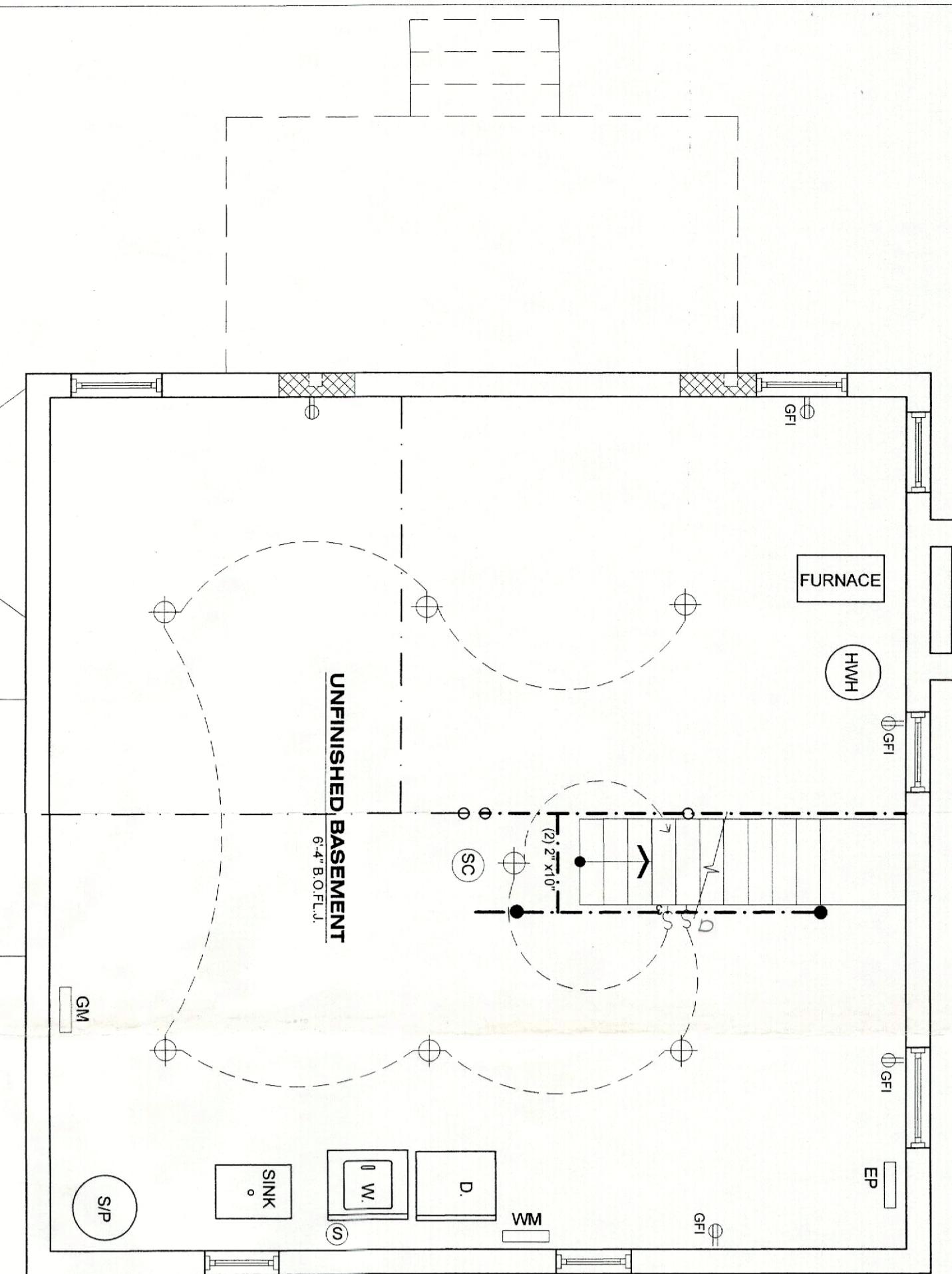
NEW 8" CONCRETE BLOCK  
OVER 20" X 12" CONCRETE  
FOOTING BEARING  
ON UNDISTORTED  
SOIL W/ (





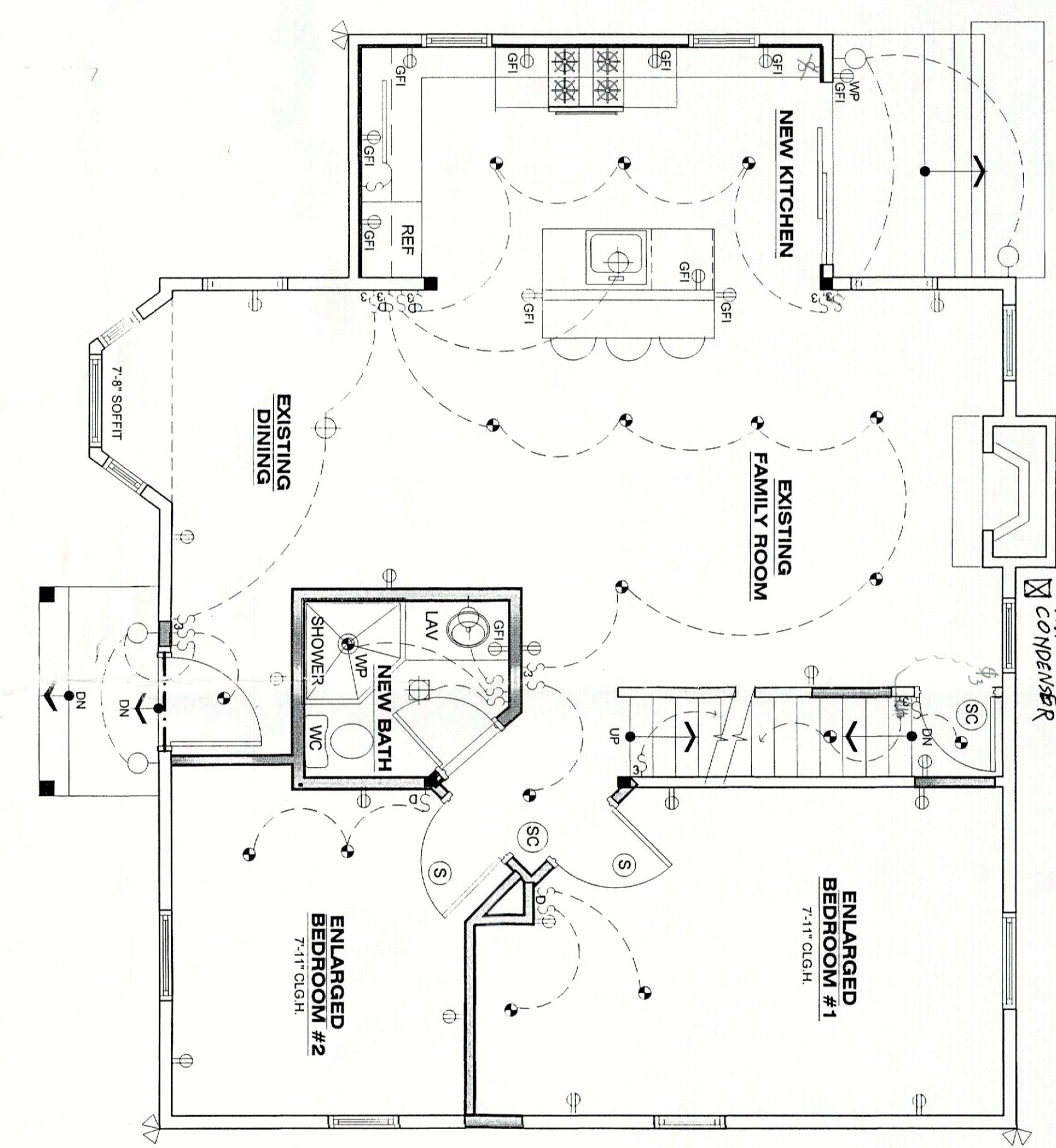
427 CHESTNUT STREET, SUITE 302  
P 908 998 2422 F 908 741 4160  
www.dantascarrete.comPAULO J. M. DANTAS, RA  
A017704

THESE DRAWINGS AND PARTS THEREOF ARE THE  
EXCLUSIVE PROPERTY OF  
DANTAS CARRETE ARCHITECTURE, LLC  
THESE DRAWINGS AND THE INFORMATION CONTAINED  
HEREIN MAY NOT BE COPIED OR USED  
BY OTHER PROJECTS OTHER THAN THE SPECIFIC PROJECT  
FOR WHICH IT WAS PROVIDED, UNLESS WRITTEN  
REPRODUCTION AUTHORITY IS GRANTED BY  
DANTAS CARRETE ARCHITECTURE, LLC



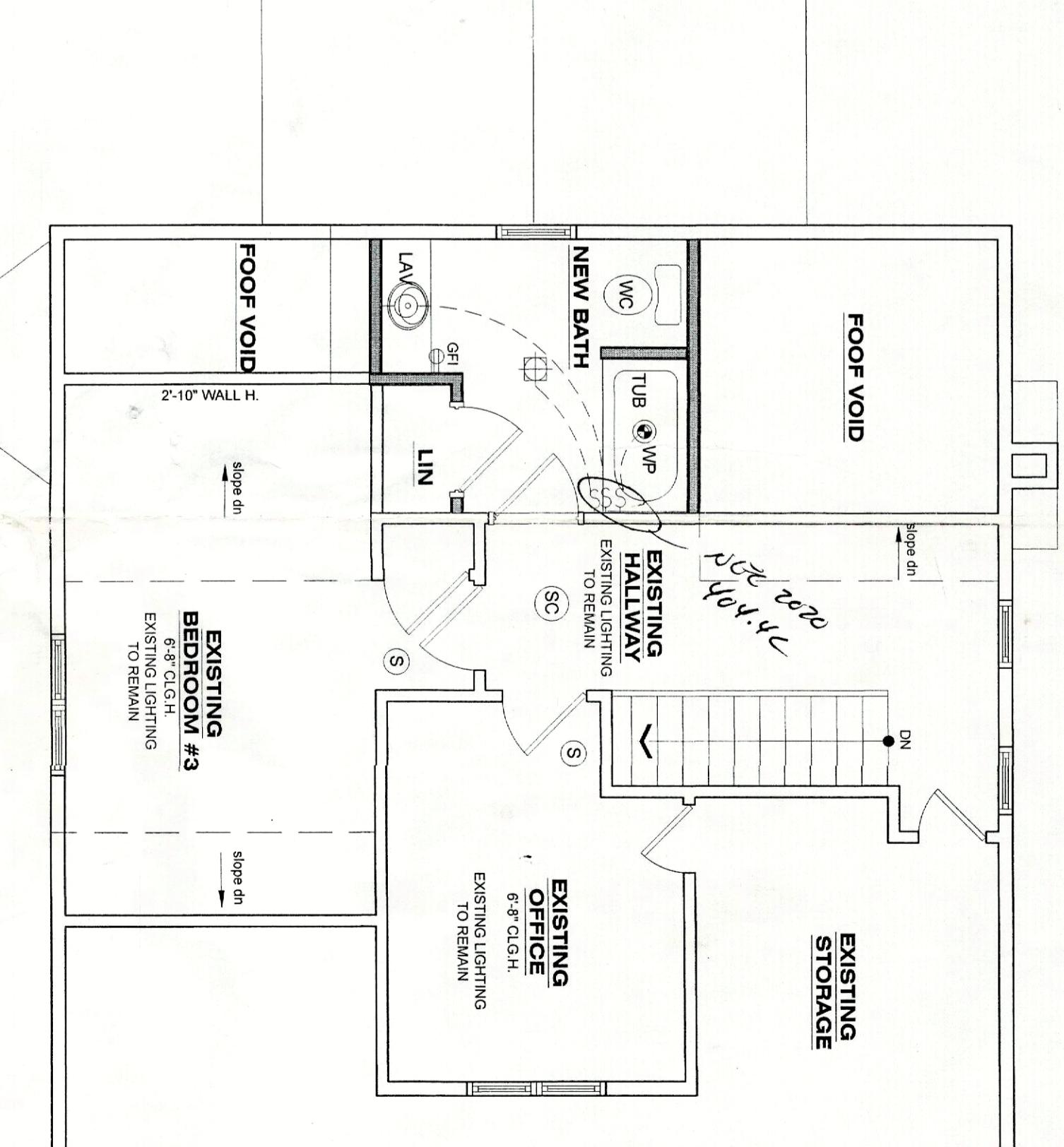
**1 BASEMENT ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"



**2 FIRST FLOOR ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"



**3 SECOND FLOOR ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"

PHASE #2

EXISTING ONE FAMILY  
INTERIOR  
ALTERATIONS  
AND ADDITION  
TO AN  
EXISTING DWELLING

4 HUGHES PLACE  
CITY OF SUMMIT, NEW JERSEY

DRAWN BY \_\_\_\_\_ NA  
CHECKED BY \_\_\_\_\_ PD  
PROJECT NO. \_\_\_\_\_ 2023-014

BASEMENT  
ELECTRICAL PLAN,  
FIRST FLOOR ELECTRICAL PLAN,  
SECOND FLOOR ELECT. PLAN,  
ELECTRICAL LEGEND

NOTE:  
1. PROVIDE SMOKE AND/OR CARBON ALARM DETECTORS AT THE FOLLOWING  
LOCATIONS, BUT NOT LIMITED TO, 2018 INTERNATIONAL RESIDENTIAL CODE,  
SECTION 704.1 & R333  
2. FINAL LIGHTS FIXTURES SELECTIONS TO BE COORDINATE WITH OWNER PRIOR TO  
CONSTRUCTION

SUBSCRIPTS AT OUTLET INDICATE THE FOLLOWING:  
GFI - GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE  
WP - WATERPROOFING HOUSING  
R - RANGE OUTLET

DW - EXHAUST FAN DUCTED TO OUTSIDE  
CLG - EXTERIOR MOTION LIGHT  
SC - CEILING MOUNTED DUPLEX CONV. OUTLET

DUPLEX CONV. OUTLET  
WALL MOUNTED LIGHT FIXTURE (SEAGULL 4535791S-04, 22W/LED) OR EQUAL  
LIGHT FIXTURE w/ EXHAUST FAN DUCTED TO OUTSIDE  
(GROUNDING ONE ARMED (GFO) OR EQUAL  
UNDER COUNTER LIGHT FIXTURE

PENDANT LIGHT FIXTURE (SEAGULL 14800S-15, 11W/LED) OR EQUAL  
RECESSED LIGHT (WATER-PROOF) (SEAGULL 14601S-15, 9W/LED) OR EQUAL  
CEILING-MOUNTED LIGHT FIXTURE (SEAGULL 2736594S-062-2W/LED) OR EQUAL

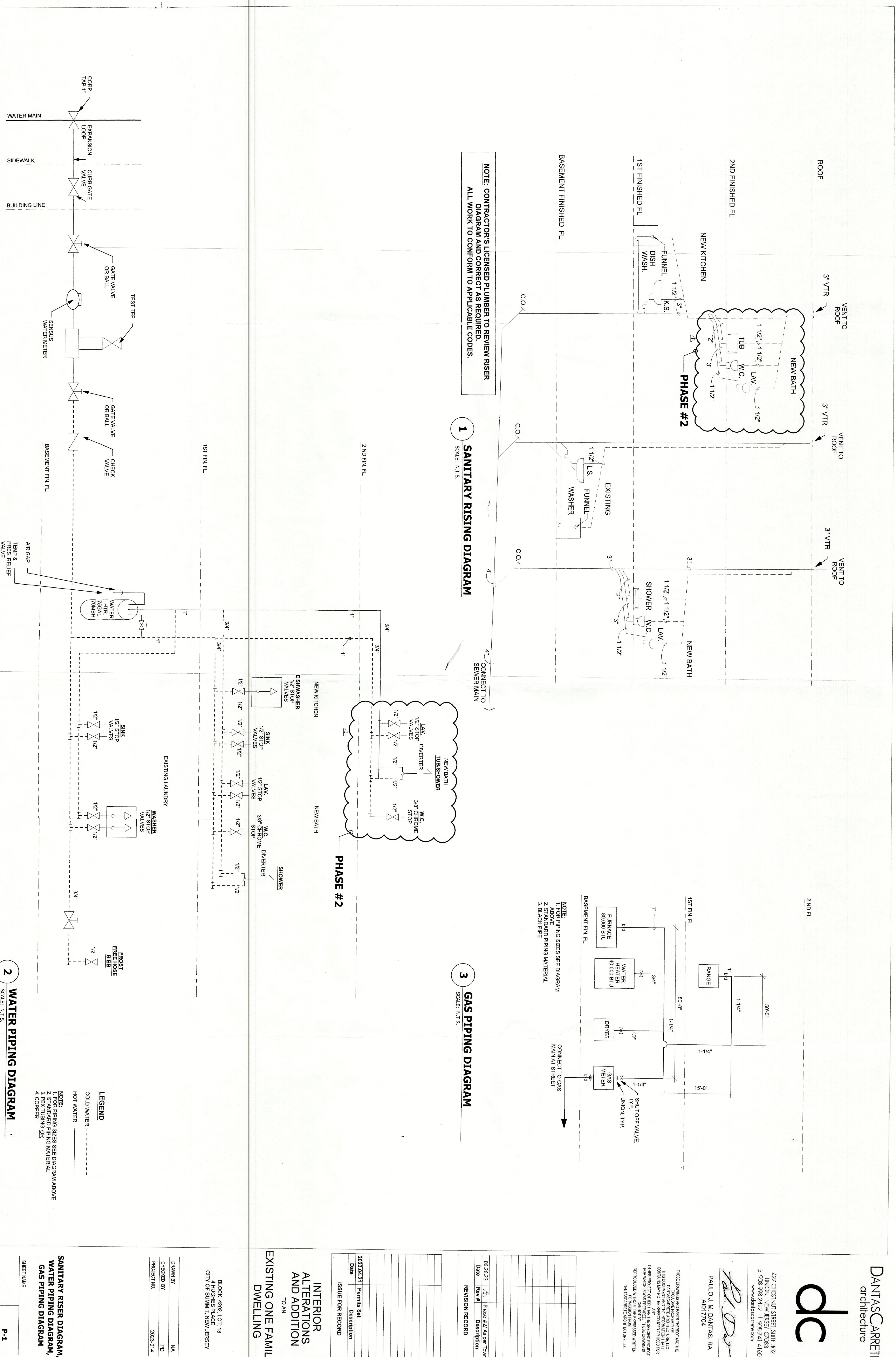
**ELECTRICAL LEGEND**

RECESSED LIGHT (SEAGULL 14800S-15, 11W/LED) OR EQUAL  
RECESSED LIGHT (WATER-PROOF) (SEAGULL 14601S-15, 9W/LED) OR EQUAL  
CEILING-MOUNTED LIGHT FIXTURE (SEAGULL 2736594S-062-2W/LED) OR EQUAL

SINGLE-POLE TOGGLE SWITCH  
COORD W/ OWNER AFF TO TOP OF BOX  
SUBSCRIPTS AT SWITCH INDICATE THE FOLLOW:  
1 - DOUBLE POLE  
2 - THREE WAY  
3 - FOUR WAY  
O - OCCUPANCY MOTION SWITCH  
R - REMOTE CONTROL SWITCH  
D - DUMMER SWITCH

IONIZATION HARDWIRE SMOKE DETECTOR WITH BATTERY BACK-UP  
(INTERCONNECTED) (SEE NOTE)  
(H) HARDWIRE HEAT DETECTOR WITH BATTERY BACK-UP (INTERCONNECTED)  
IONIZATION HARDWIRE SMOKE & CARBON DETECTOR (COMBINATION WITH  
BATTERY BACK-UP) (INTERCONNECTED) (SEE NOTE)

DW - DISHWASHER OUTLET  
CLG - CEILING MOUNTED DUPLEX CONV. OUTLET  
SC - FREEZELESS HOSE/BB



# DANTASCARRETTI architecture

Ω

427 CHESTNUT STREET, SUITE 302  
UNION, NEW JERSEY 07083  
P 908 998 2422 F 908 741 4160  
[www.dantascarrete.com](http://www.dantascarrete.com)

p 908 998 2422 f 908 741 4160  
[www.dantascarrete.com](http://www.dantascarrete.com)

PAULO J. M. DANTAS, RA  
AI017704

EXCLUSIVE PROPERTY OF  
DANTASCARRETE ARCHITECTURE, LLC  
THIS DOCUMENT AND THE INFORMATION THAT IT  
CONTAINS MAY NOT BE REPRODUCED OR USED FOR  
ANY  
OTHER PROJECT OTHER THAN THE SPECIFIC PROJECT  
HEREIN.

REPRODUCED WITHOUT THE EXPRESSED WRITTEN  
PERMISSION FROM  
DANTASCARRETE ARCHITECTURE, LLC

卷之三

110 of 110

111

Date	Rev #	Description
06.26.23	A	Phase #2/ As per Town

REVISION RECORD

1100

111

20220424

ISSUE FOR RECORD

## INTERIOR ALTERATIONS

TO AN

# DWELLING

BLOCK: 4202, LOT: 18

... OF SOMETHING, NEW SERIES!

DRAWN BY \_\_\_\_\_ NA  
CHECKED BY \_\_\_\_\_ PD

## **SANITARY RISER DIAGRAM, WATER PIPING DIAGRAM, GAS PIPING DIAGRAM,**

SHEET NAME \_\_\_\_\_

**SHEET NUMBER** \_\_\_\_\_  
**P-1**