

Date Description No.
Revisions

SIGNATURE JOHN COTE DATE
PROFESSIONAL ENGINEER NJ Lic. No.
24GE03705800

LANGAN

Langan Engineering and Environmental Services, Inc.

300 Kimball Drive
Parsippany, NJ 07054T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400

Project
BEACON UNITARIAN
UNIVERSALIST
CHURCH
SUMMIT
NEW JERSEY
Drawing Title
UNION COUNTY

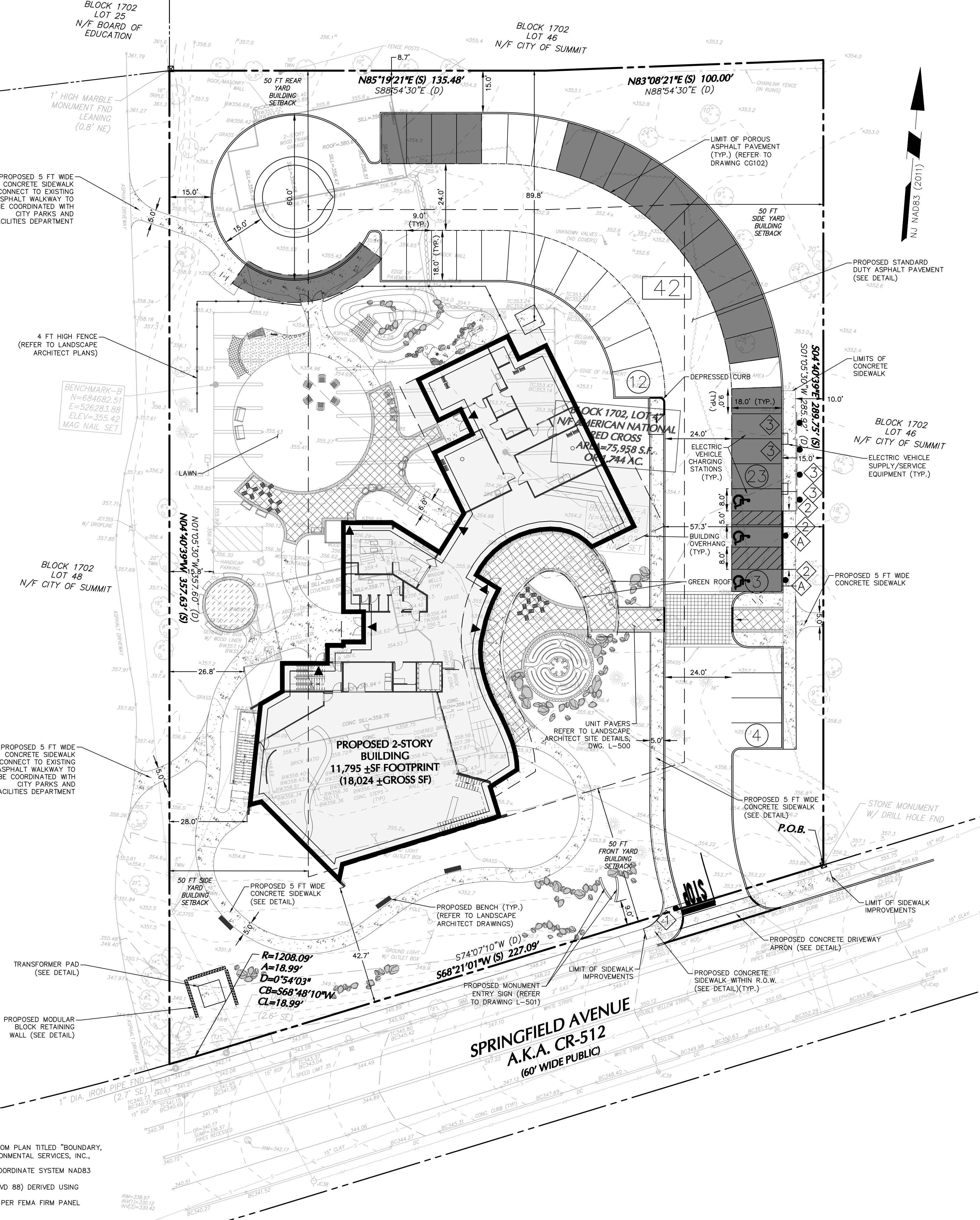
DEMOLITION PLAN
Project No. 101007201 Drawing No. CD101
Date FEBRUARY 9, 2024 Drawn By SM Checked By TH
Scale: 1 INCH = 20 FEET
Sheet 3 of 19

CITY OF SUMMIT ZONING TABLE
695 SPRINGFIELD AVENUE REDEVELOPMENT
BLOCK No. 1702, LOT No. 47

ZONING DISTRICT: R-15 SINGLE FAMILY RESIDENTIAL DISTRICT²

Item	Required / Allowed	Existing	Proposed	Regulation Reference ^{1,2}	Condition
Land Use:					
Principal Use ²	House of Worship	Office	House of Worship	35-13.3 B.3.	V
Area, Bulk & Yard Requirements:					
Min. Lot Area (AC.)	2 AC.	1.74 ± AC.	1.74 ± AC.	35-11.2.C.1.	V
Min. Frontage (FT)	50 FT	246.1 FT	246.1 FT	35-11.2.C.2.	C
Min. Front Building Setback (FT)	50 FT	91.8 FT	42.7 FT	35-11.2.C.3.	V
Min. Side Building Setback (FT) (Each Side)	50 FT	26.8 FT	28.0 FT	35-11.2.C.4.	V
Min. Rear Building Setback (FT)	50 FT	181.8 FT	89.8 FT	35-11.2.C.5.	C
Max. Building Height (Stories/FT) ³	2 STORY / 35 FT	2 STORY / 35 FT	2 STORY / < 35 FT	35-9.4 Appendix C	C
Max. Lot Coverage (%) ³	40%	30.1%	46.6%	35-11.2.C.9.	V
Max. Building Coverage (%)	15%	4%	15.6%	35-11.2.C.10.	V
Side Yard Buffer (FT) ³	47 FT	N/A	9.8 FT	35-11.2.C.7.	V
Rear Yard Buffer (FT) ³	50 FT	N/A	15 FT	35-11.2.C.8.	V
Min. Parking Setback (FT)	20 FT	N/A	15 FT	35-11.2.C.12.	V
Accessory Structure					
Accessory Use (Solar Canopy)	N/A	N/A	Solar Canopy ⁵	35-9.9.O.4.a.	V
Max. Height Solar Canopy	18 FT	N/A	< 18 FT	35-9.9.O.4.d.	C
Min. Setback Solar Canopy (all lot lines)	15 FT	N/A	15 FT	35-9.9.O.4.e.	C
Driveway, Parking & Loading Regulations					
Min. Number of Parking Spaces ^{4,5}	100	27	42 ⁷	35-14.1 P.6.a.	V
Min. Parking Space Size (FT x FT)	9 FT x 18 FT	9 FT x 18 FT	9 FT x 18 FT	35-14.1 P.10.a.	C
Min. Drive Aisle Width (FT)	23 FT	23.3 FT	24 FT	35-14.1 P.10.a.	C
Min. Number of Electric Vehicle (EV) Spaces ⁶	4	N/A	4	35-9.9.E.2.	C
Min. Parking Lot Landscaping ¹⁰	1 Shade Tree / 10 Spaces	-	0	35-14.1 P.2.1.	V
Miscellaneous					
Max. Height of Fences & Walls (FT) (Side/Rear Yard)	7 FT	N/A	4 FT	35-14.1 K.5.a.	C
Max. Height of Fences & Walls (FT) (Front Yard)	4 FT	N/A	4 FT	35-14.1 K.5.a.1.	C
Signage					
Max. Sign Area (SF)	12 SF	-	≤ 18 SF	35-14.1.S. Appendix D	V
Max. Lettering Height (IN.)	6"	-	7.5"	35-14.1.S. Appendix D	V
Abbreviations:					
V. Variance	W- Waiver	C- Compliance	NC- Existing Nonconformity	N/A - Not Applicable	
Notes:					
1. Zoning regulations and design standards referenced from City of Summit Development Regulations: Chapter 35, dated 12/01/2020.					
2. The subject property is located within the R-15 Single Family Residential Zone. House of Worship is a conditional use in the R-15 Zone. House of Worship conditional use regulations 35-11.2.C.					
3. Lot coverage includes green roof area totaling approximately 2,360 ±SF.					
4. The required parking for House of Worship is 1 Space per 3 seats or 1 space per 10 SF of Gross Floor Area, whichever is greater. Proposed facility includes 300 seat Sanctuary.					
5. Freestanding solar array canopies are expressly prohibited in residential zones (35-9.0.O.4.a). Variance requested for four proposed solar canopy structures.					
6. Off-street parking facilities of 20 spaces or more, a minimum of 7% of such spaces shall contain facilities for EV charging.					
7. Total parking provided includes 42 spaces on-site and 58 off-site parking spaces located along the north side of Springfield Avenue. Total 100 parking spaces can be provided between on-site and off-site parking locations.					
8. Total Building GSF is 18,024 SF First Floor: 11,795 SF; Second Floor: 3,116 SF; Basement: 3,113 SF.					
9. Side buffer is 47 ft, average width of property is 235 ±ft. Rear buffer is 50 ft, average depth of the property is 321 ±ft.					
10. 35-14.1 P. 2.1, in outdoor parking lots 10 or more spaces, at least 10% of the parking area shall be suitably landscaped, including landscape plantings around the perimeter of the parking area and at least one shade tree for every 10 parking spaces. The project proposes solar canopies above parking spaces which provide shade and reduce heat island effect.					

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE/ROW	
BUILDING LINE	
SETBACK LINE	
CURB LINE	
ADA ACCESSIBLE RAMP	
ADA SYMBOL	
TRAFFIC SIGN	
SIGN DESIGNATION	
PARKING COUNT	
SUB-TOTAL	
DIRECTION ARROW	
STOP BAR	
RETAINING WALL	
FENCE	
GUIDE RAIL	
CROSSWALK (STRIPING)	
CONCRETE SIDEWALK	
MANHOLE	
CATCH BASIN	
FIRE HYDRANT	
LIGHT POLE	
TREE	
SOLAR CANOPY	



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Project

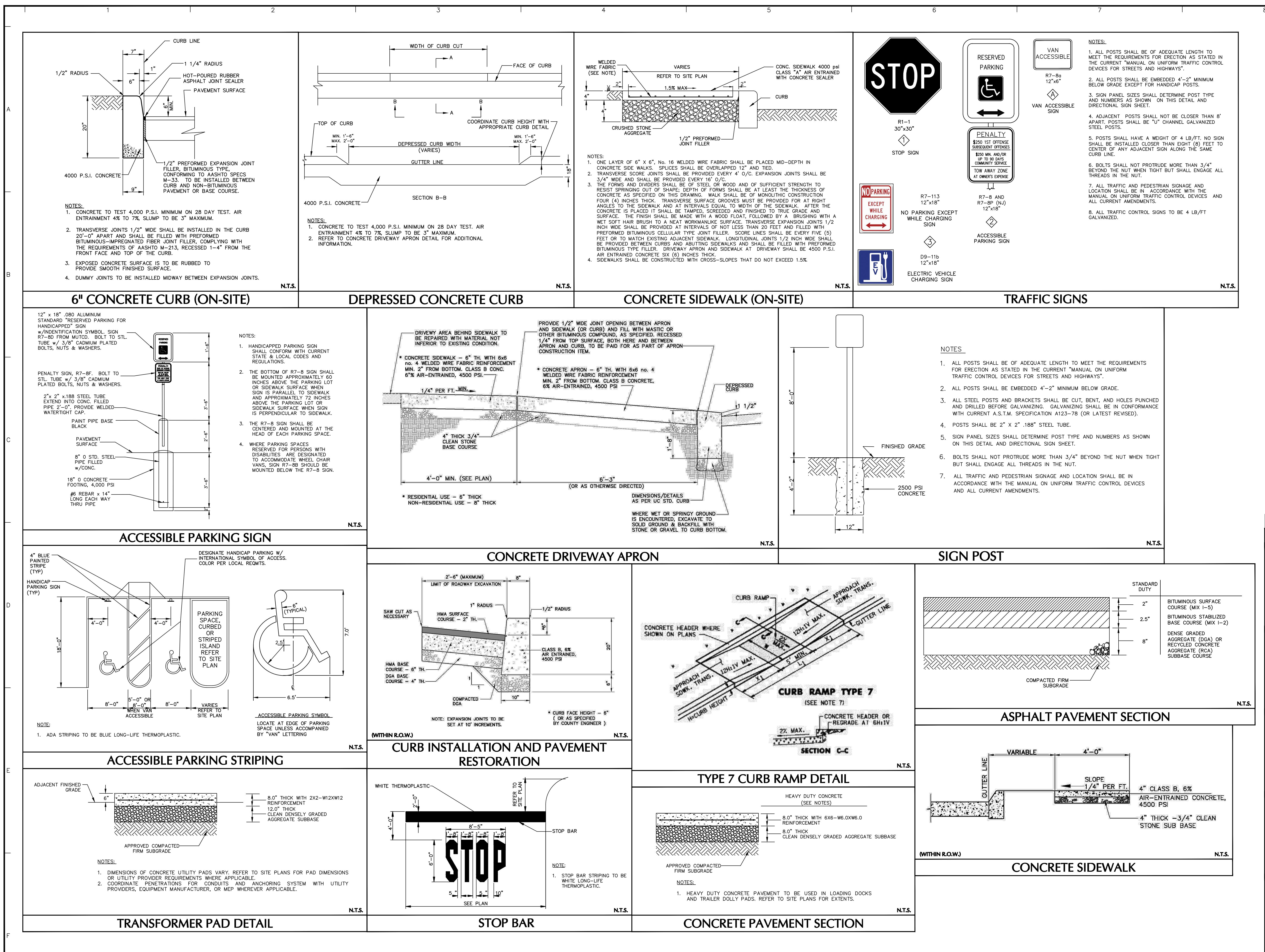
BEACON UNITARIAN UNIVERSALIST CHURCH
SUMMIT
NEW JERSEY

Drawing Title

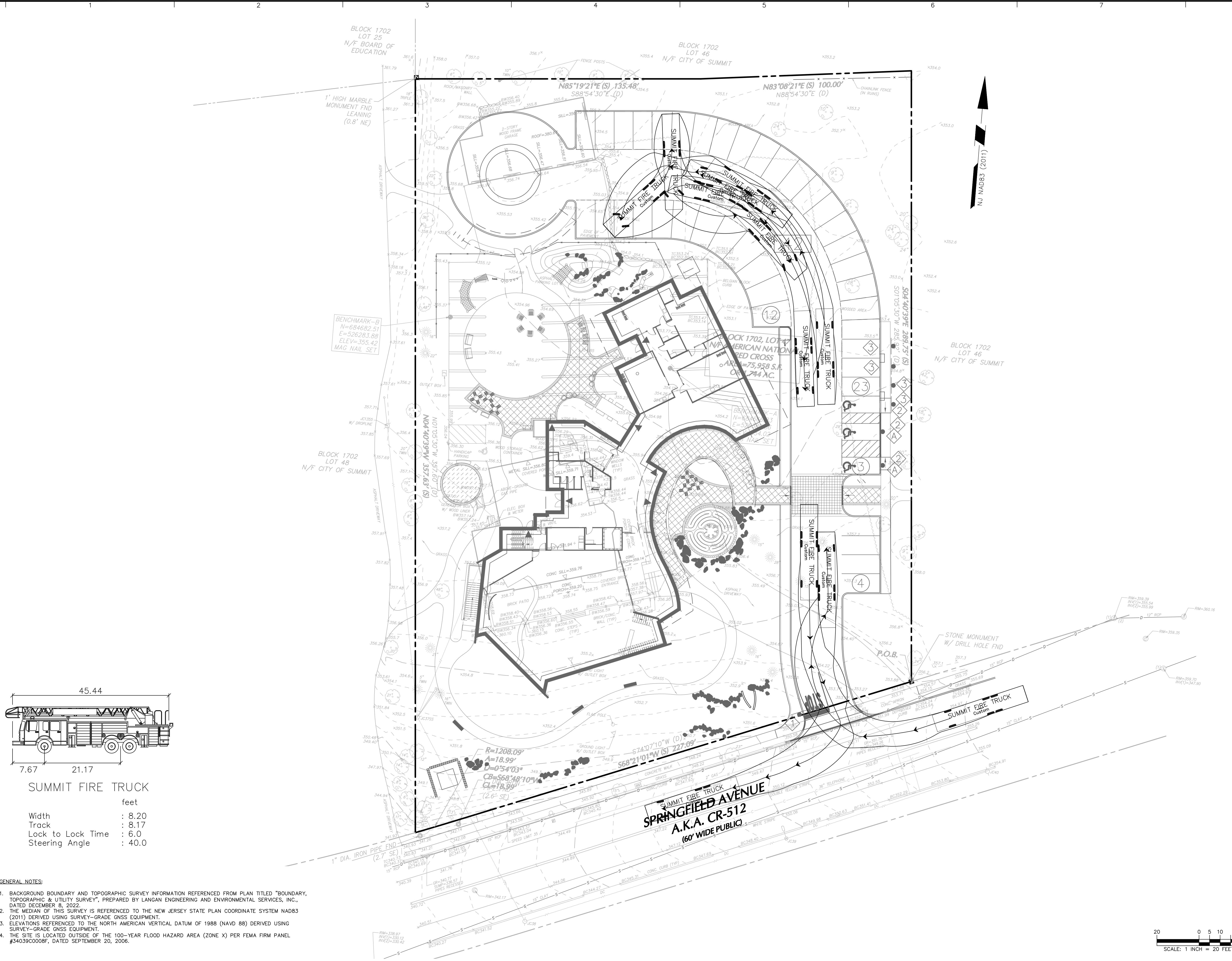
SITE PLAN

Project No.	Drawing No.
101007201	
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FEBRUARY 9, 2024	
Drawn By	
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Sheet 4 of 19	

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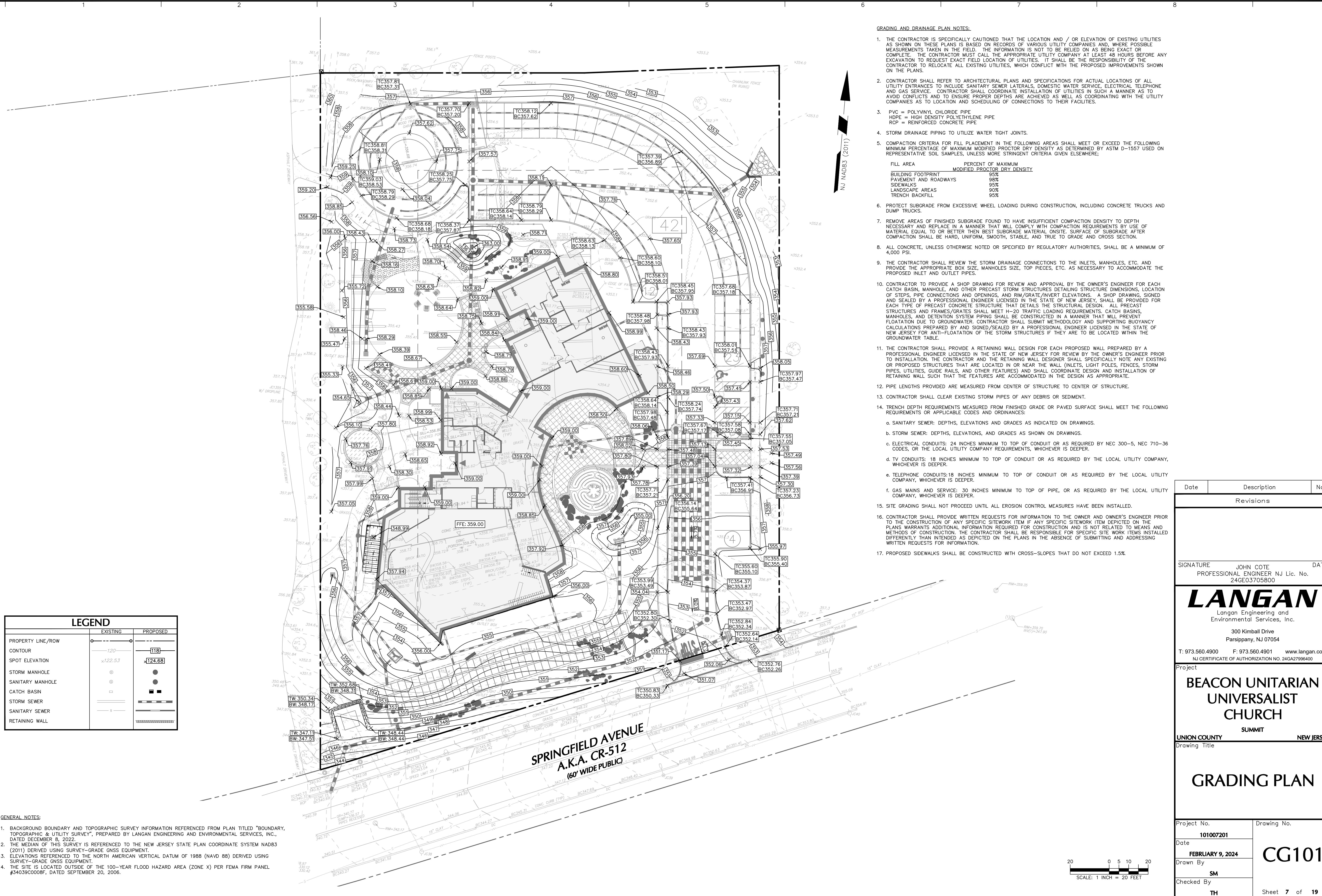


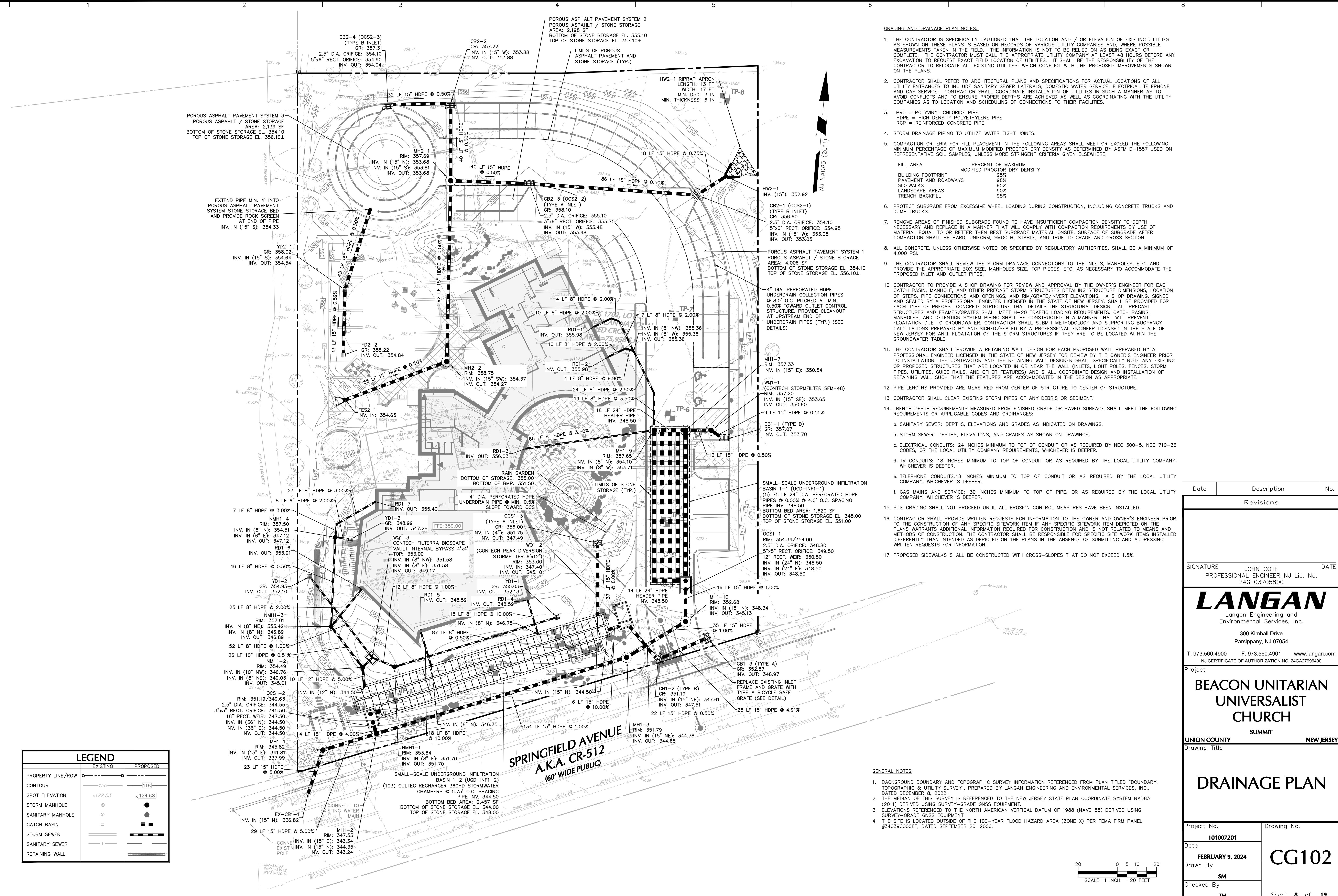
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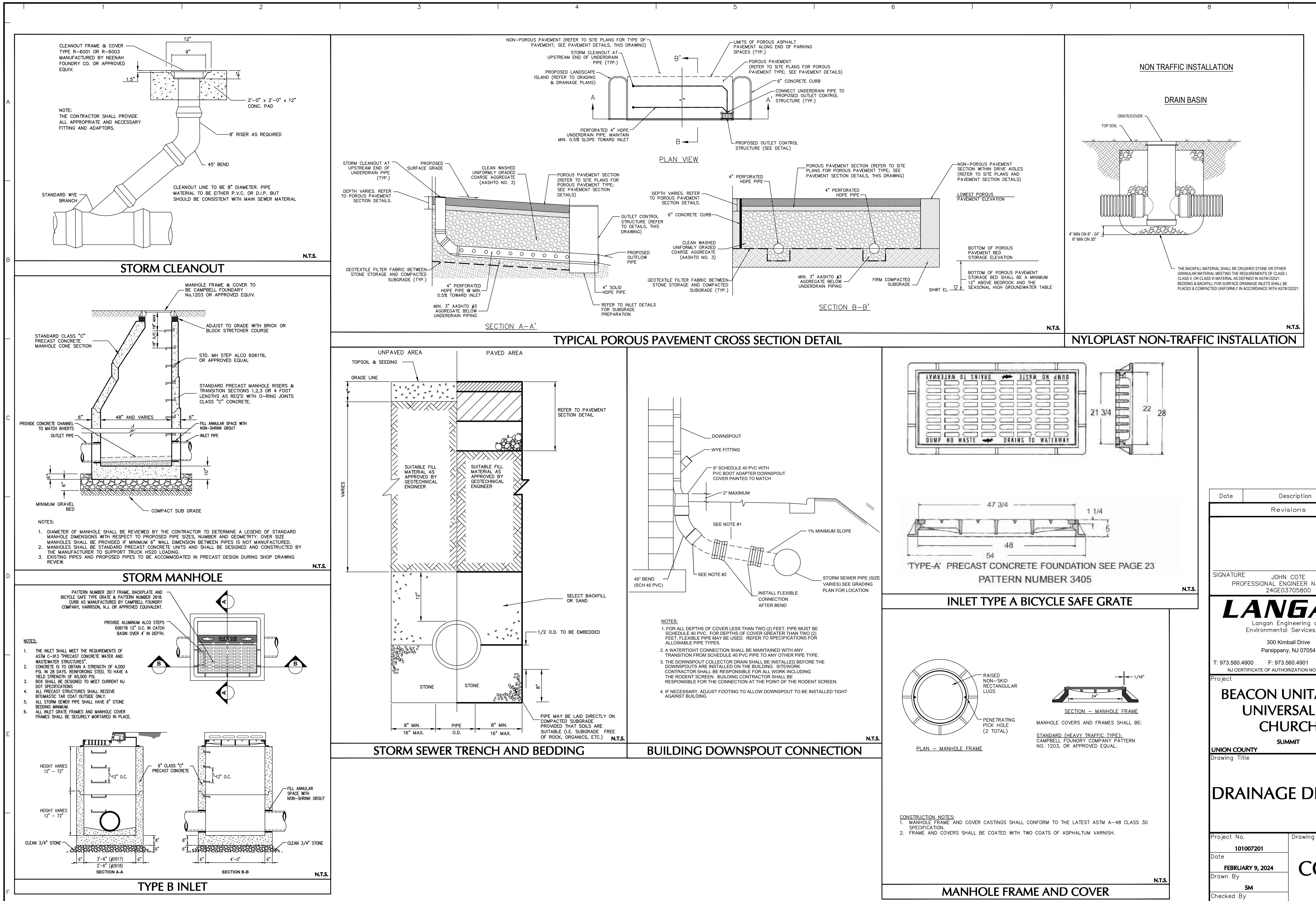
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BEACON UNITARIAN UNIVERSALIST CHURCH		
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FIRE TRUCK CIRCULATION PLAN		
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101007201	CP101	
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FEBRUARY 9, 2024		
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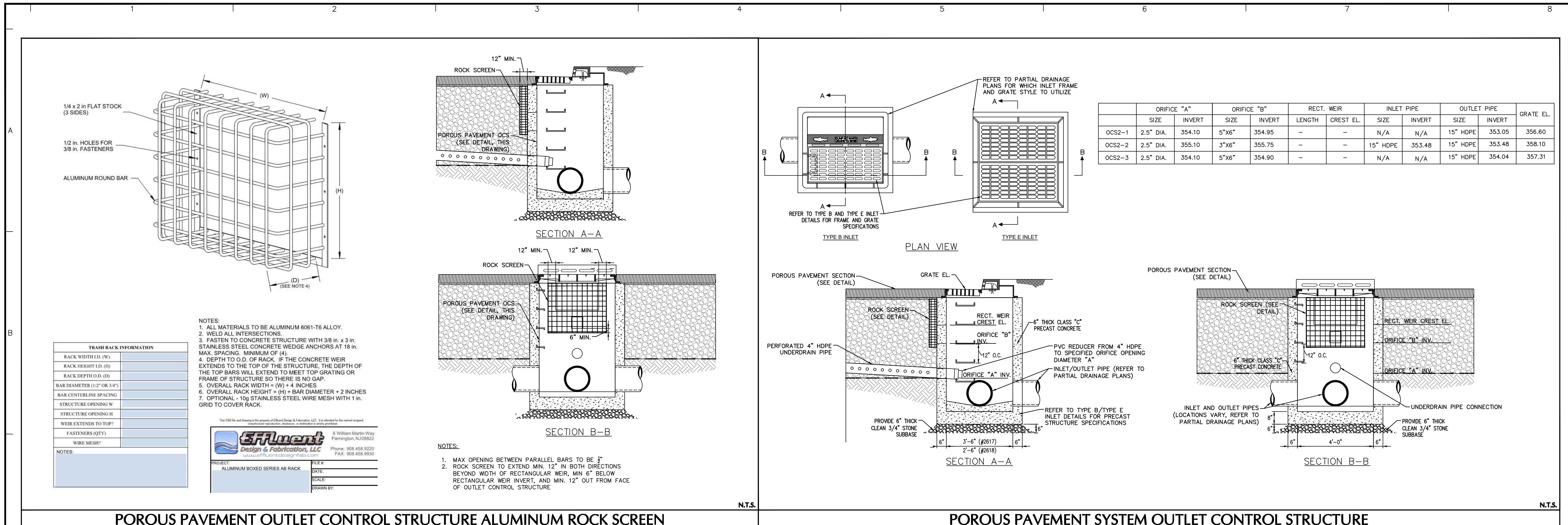
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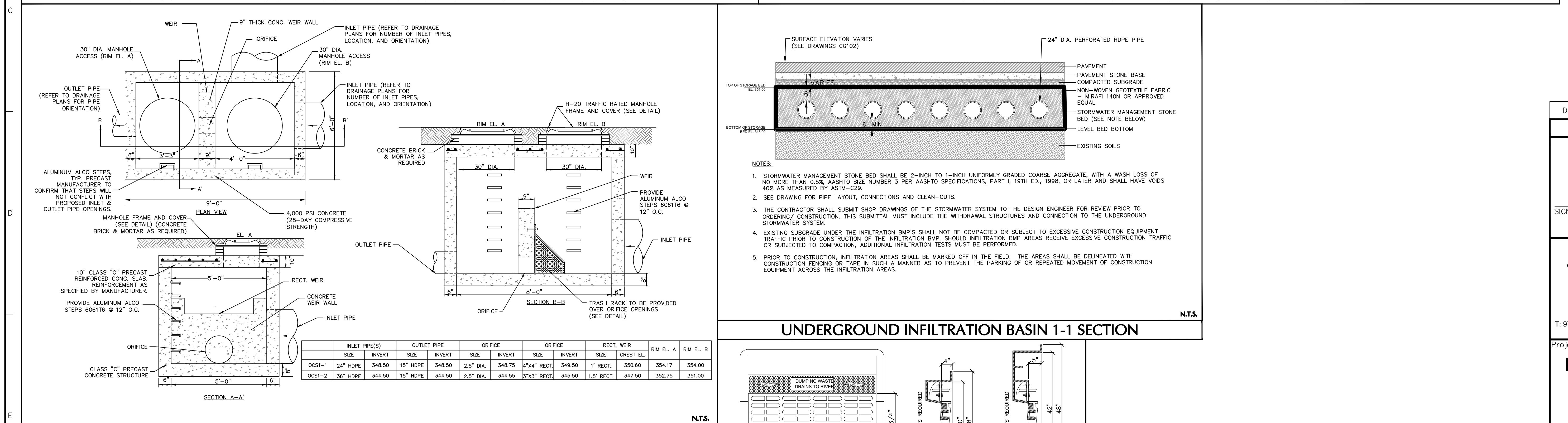
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Sheet 8 of 19	



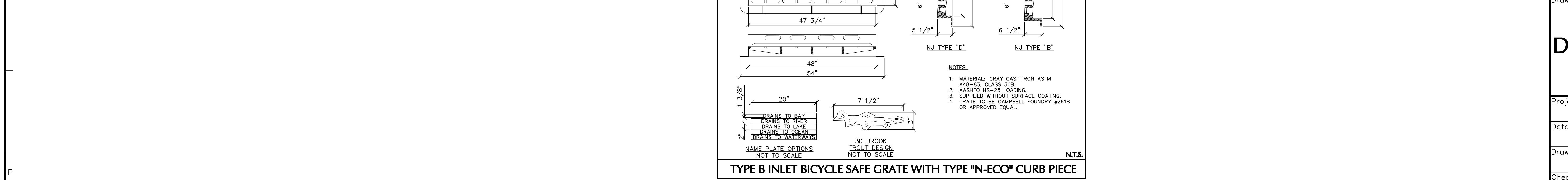


POROUS PAVEMENT OUTLET CONTROL STRUCTURE ALUMINUM ROCK SCREEN N.T.S.

POROUS PAVEMENT SYSTEM OUTLET CONTROL STRUCTURE N.T.S.



UNDERGROUND INFILTRATION BASIN OUTLET CONTROL STRUCTURES N.T.S.



TYPE B INLET BICYCLE SAFE GRATE WITH TYPE "N-ECO" CURB PIECE N.T.S.

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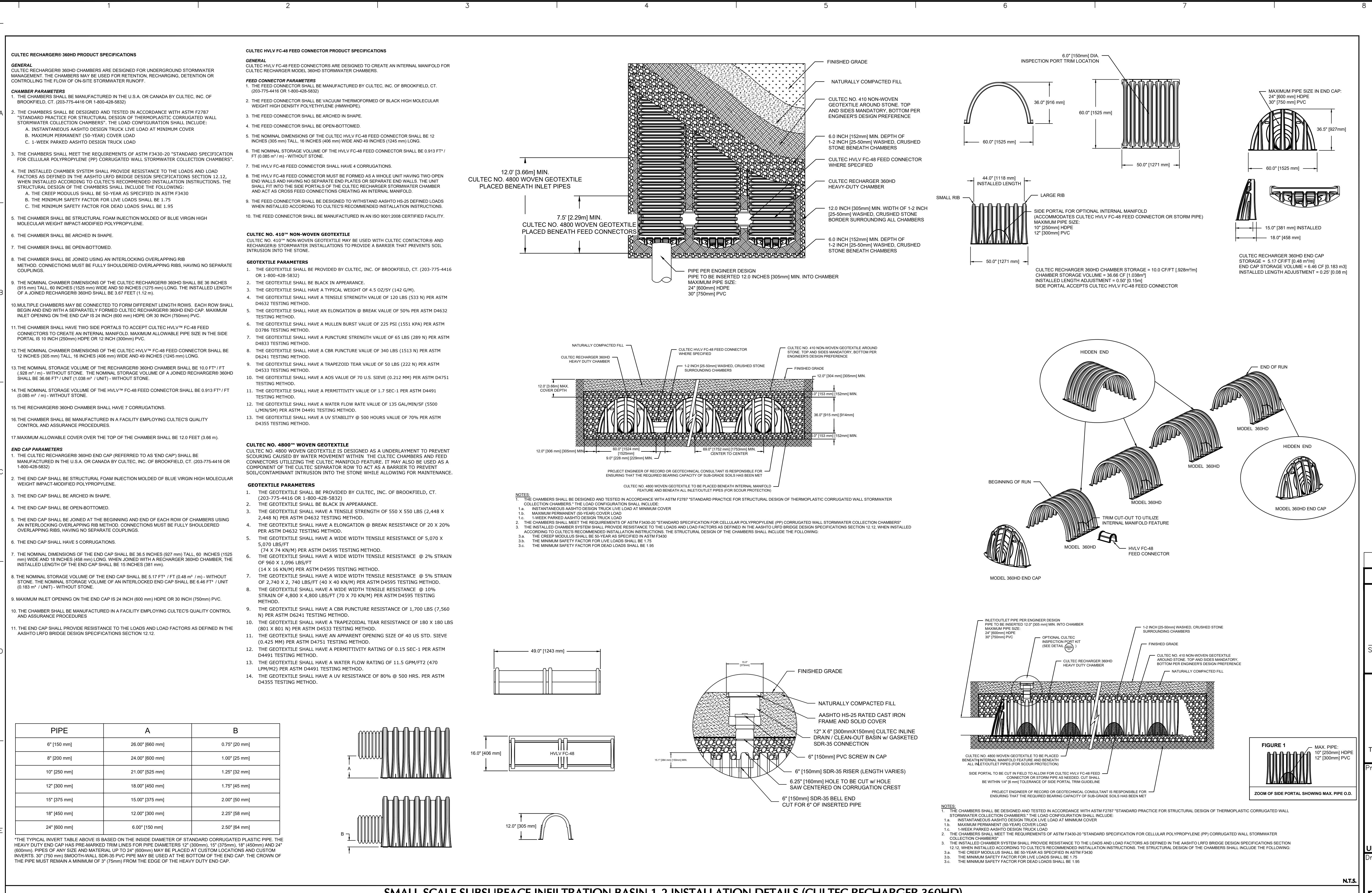
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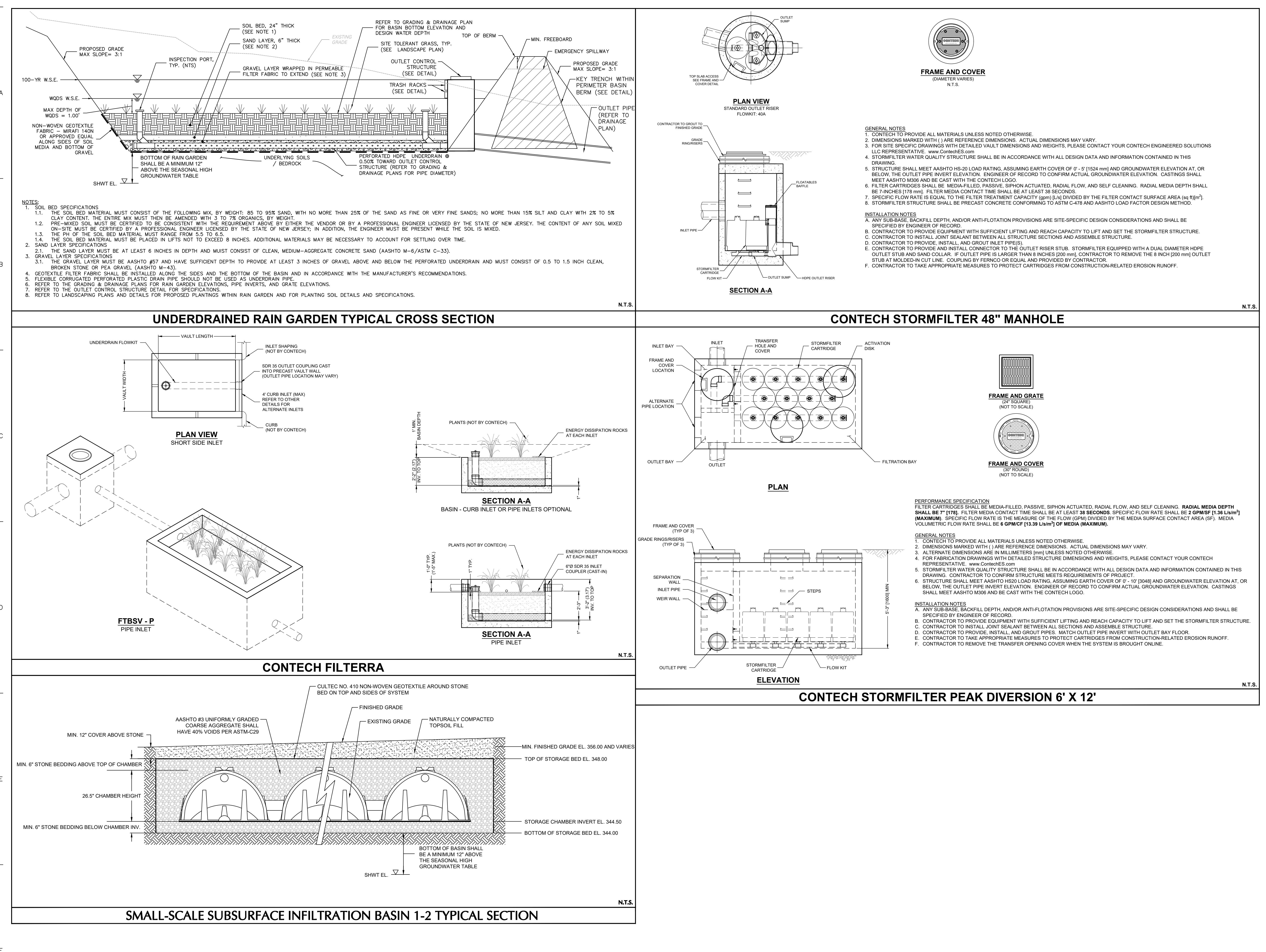
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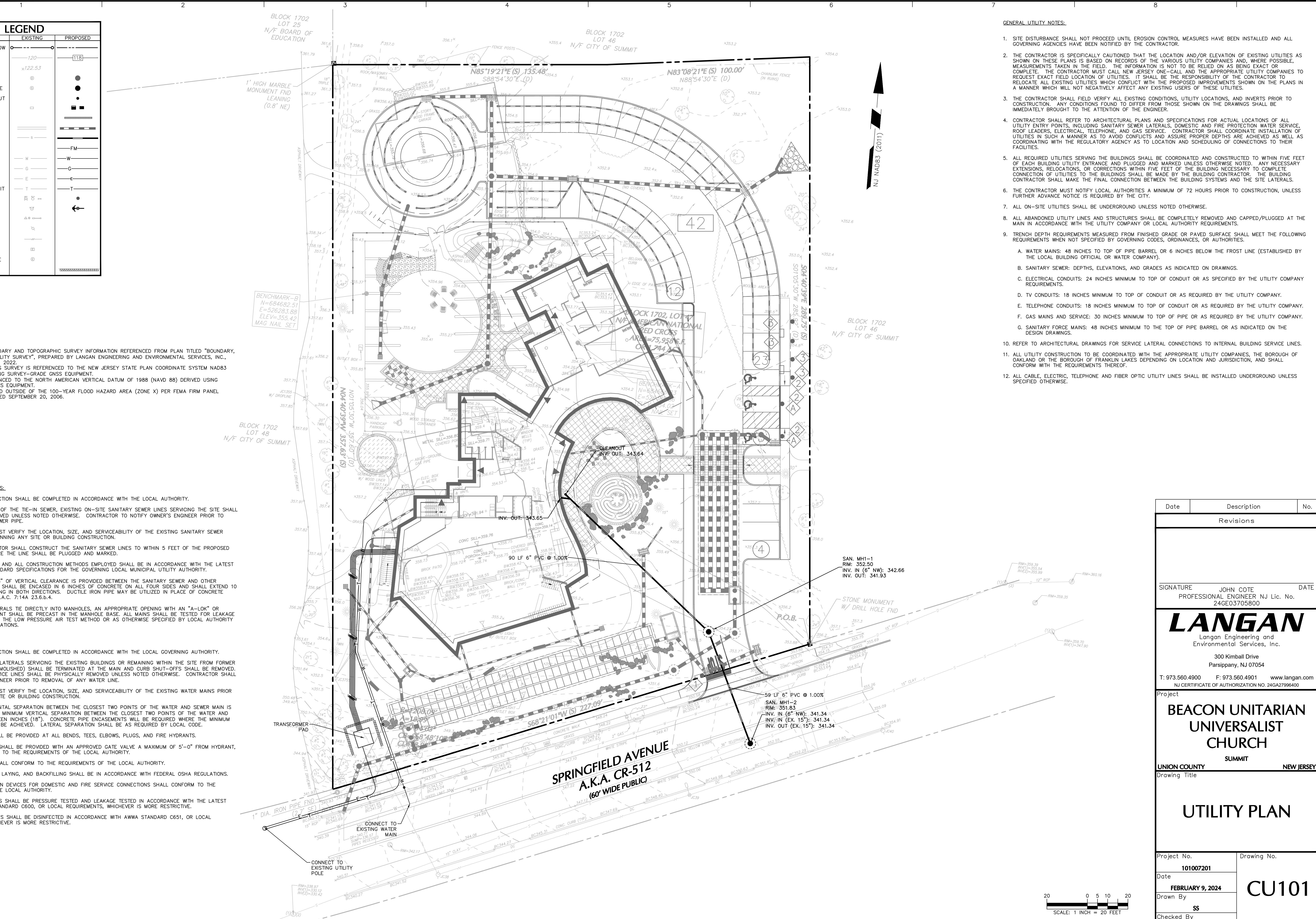
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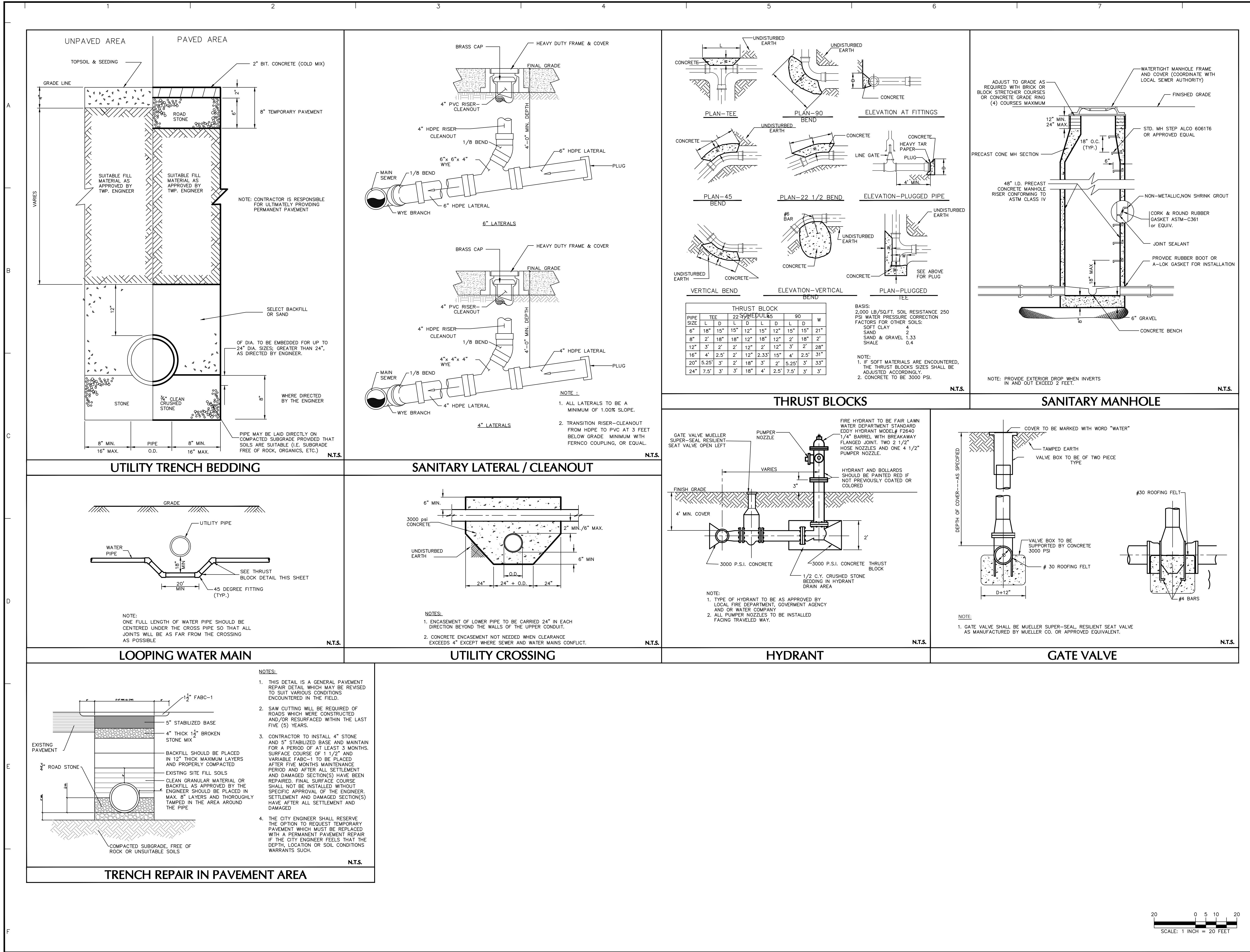
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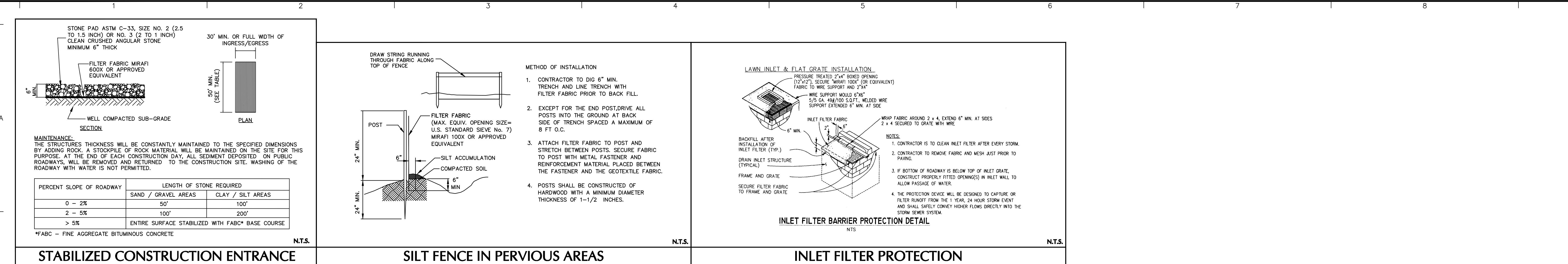


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<p>Project</p> <p>BEACON UNITARIAN UNIVERSALIST CHURCH</p> <p>SUMMIT</p> <p>UNION COUNTY NEW JERSEY</p> <p>Drawing Title</p>		
<p>DRAINAGE DETAILS</p>		
<p>Project No. 101007201</p> <p>Date FEBRUARY 9, 2024</p> <p>Drawn By SS</p> <p>Checked By</p>		<p>Drawing No.</p> <p>CG505</p>









STABILIZED CONSTRUCTION ENTRANCE

SILT FENCE IN PERVIOUS AREAS

INLET FILTER PROTECTION

GRADING NOTES

- THE CUT FACE OF EARTH EXCAVATIONS SHALL BE NO STEEPER THAN THE SAFE ANGLE OF REPOSE FOR THE MATERIALS ENCOUNTERED AND FLAT ENOUGH FOR PROPER MAINTENANCE.
- PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES, AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES IN FILL SLOPES.
- ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.
- TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS, AND VEGETATIVE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS SHALL BE REMOVED AND DISPOSED OF PER LOCAL, STATE, AND FEDERAL WASTE REMOVAL STANDARDS BY THE CONTRACTOR AT CONTRACTOR'S OWN EXPENSE.
- ALL DISTURBED AREAS SHALL BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION.

STABILIZATION WITH MULCH ONLY NOTES

- NON-GROWING STABILIZATION MEASURES SHALL BE USED WHERE THE SEASON & OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION RESISTANT COVE OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.
- SALT HAY, HAY FREE OF SEEDS OR UN-ROTTED SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF, TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS IMMEDIATELY AFTER PLACEMENT (SUCH AS PEG & TWINE, MULCH NETTING OR LIQUID MULCH-BINDER).

Maintenance Notes

- Maintenance is necessary to allow for continuing performance of erosion control devices during the construction period and long term maintenance, following completion of construction, for the life of structural measures. Structural measures for control of soil erosion and sedimentation must have timely maintenance. Particular attention should be given to temporary structures such as sediment barriers and construction aprons.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

- PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY." THE FOLLOWING SEEDING SCHEDULE SHOULD BE USED FOR PERMANENT SEEDING (UNLESS OTHERWISE NOTED)

A. APPLY TOPSOIL TO A DEPTH OF 5".

B. LIME - 90 LBS/1,000 SF GROUND LIMESTONE.

C. FERTILIZER - 14 LBS/1,000 SF, 10-20-10 OR EQUIVALENT, WITH 50% WATER INSOLUBLE NITROGEN, WORKED INTO SOIL TO A DEPTH OF 4 INCHES.

D. SEED - 70% TURF TYPE TALL FESCUE 20% PERENNIAL RYegrass 10% KENTUCKY BLUEGRASS SEED AT A RATE OF 200 LBS/ACRE

OPTIMAL PLANTING PERIOD BETWEEN FEBRUARY 15 AND MAY 1 OR BETWEEN AUGUST 15 AND OCTOBER 15.

DUST CONTROL SPECIFICATIONS

- ONE OR MORE OF THE FOLLOWING METHODS SHALL BE USED FOR CONTROLLING:

A. MULCHING (SEE SPECIFICATIONS, THIS SHEET).

B. VEGETATIVE COVER (SEE SPECIFICATIONS, THIS SHEET).

C. TILLAGE TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A PRE-CONSTRUCTION MEASURE. IT SHOULD BE USED BEFORE SOIL PLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARRROWS MAY PRODUCE THE DESIRED EFFECT.

D. SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

E. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY USED TO CONTROL AIR CURRENTS, AND SOIL PLOWING.

F. CALCIUM CHLORIDE - LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON SLOPES, USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

G. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

H. SPRAY-ADHESIVES - ON MINERAL SOILS. KEEP TRAFFIC OFF THESE AREAS.

SECTION

PLAN

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- CONTRACTOR TO DIG 6" MIN. TRENCH AND LINE TRENCH WITH FILTER FABRIC PRIOR TO BACK FILL.
- EXCEPT FOR THE END POST, DRIVE ALL POSTS INTO THE GROUND AT BACK SIDE OF TRENCH SPACED A MAXIMUM OF 8 FT O.C.
- ATTACH FILTER FABRIC TO POST AND STRETCH BETWEEN POSTS. SECURE FABRIC TO POST WITH METAL FASTENER AND REINFORCEMENT MATERIAL PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE.
- POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES.

INLET FILTER BARRIER PROTECTION DETAIL

NOTES:

- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
- CONTRACTOR TO REMOVE FABRIC AND MESH JUST PRIOR TO PAVING.
- IF BOTTOM OF ROADWAY IS BELOW TOP OF INLET GRATE, CONSTRUCT PROPERLY FITTED OPENINGS IN INLET WALL TO ALLOW PASSAGE OF WATER.
- THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

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INLET FILTER BARRIER PROTECTION DETAIL

NOTES:

- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
- CONTRACTOR TO REMOVE FABRIC AND MESH JUST PRIOR TO PAVING.
- IF BOTTOM OF ROADWAY IS BELOW TOP OF INLET GRATE, CONSTRUCT PROPERLY FITTED OPENINGS IN INLET WALL TO ALLOW PASSAGE OF WATER.
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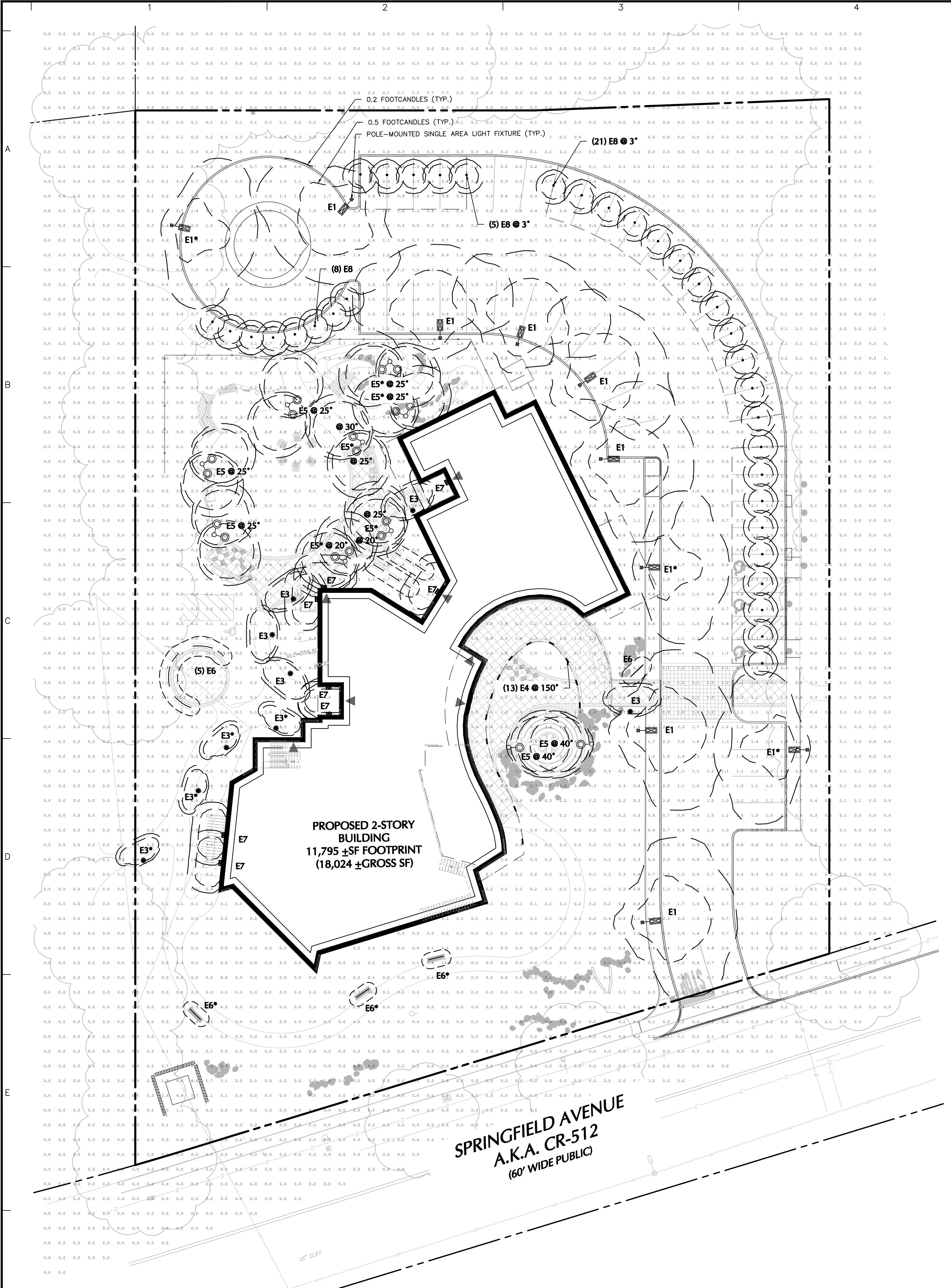
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ORDINANCE COMPLIANCE TABLE				
ITEM	REQUIRED	PROPOSED	COMPLIES	ORDINANCE SECTION (PAGE)
GENERAL DESIGN REQUIREMENTS				
LIGHT FIXTURE MOUNTING HEIGHT	THE MAXIMUM HEIGHT OF ALL LIGHT FIXTURES SHALL NOT EXCEED 15 FEET.	MAXIMUM MOUNTING HEIGHT OF ALL FIXTURES	YES	ZONING 35-14.1 M.2.a.
LUMINANCE REQUIREMENTS	WALKWAYS, STAIRWAYS AND BRIDGES DISTANT FROM ROADWAYS: 0.2 FC	MAXIMUM AVERAGE OF 0.2 FC IS PROPOSED.	YES	ZONING 35-14.1 M.2.g.(3)(d)
COLOR TEMPERATURE	LIGHTING FIXTURES SHALL NOT EXCEED A COLOR TEMPERATURE OF 2700 KELVIN	PROPOSED FIXTURES ARE ALL 2700 KELVIN	YES	ZONING 35-14.1 M.2.g.(3)(e)
PROPERTY LINE	THE MAXIMUM ILLUMINATION AT PROPERTY LINES SHALL BE 1/10 FOOTCANDLE AT GRADE.	MAXIMUM ILLUMINATION AT PROPERTY LINE IS 0.1 FC.	YES	ZONING 35-14.1 M.2.g.(3)(i)

SITE LIGHTING SCHEDULE

SYMBOL	KEY	QTY.	Fixture Manufacturer	Fixture Model	Fixture Description	Fixture Mounting Height	LAMP	OPTICS	LUMENS	LLF	TILT ANGLE	IES FILE	Fixture Catalogue No.	Pole Manufacturer	Pole Description	Pole Length	Pole Catalogue No.
■-■	E1	7	WE-EF	AFL120 LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	15'-0"	26.5W LED	FORWARD THROW	2,983	0.90	0°	102-0317.IES	102-0317 INCLUDE: 430-0029 FIELD ADJUSTABLE BACKLIGHT SHIELD	LUMCA POLE	ROUND STRAIGHT ALUMINUM POLE	15'-0"	AP04-HD15-WB11-4-BK
■-■	E1*	3	WE-EF	AFL120 LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	15'-0"	26.5W LED	FORWARD THROW WITH SIDE SHIELD	2,983	0.90	0°	102-0317.IES	102-0317 INCLUDE: 430-0029 FIELD ADJUSTABLE BACKLIGHT SHIELD	LUMCA POLE	ROUND STRAIGHT ALUMINUM POLE	15'-0"	AP04-HD15-WB11-4-BK
●	E3	5	WE-EF	MRY224 LED II	BOLLARD LIGHT FIXTURE; COLOR - BLACK	2'-10"	13.5W LED	ASYMMETRIC	844	0.90	0°	115-9801.IES	115-980				N/A
●	E3*	4	WE-EF	MRY224 LED II	BOLLARD LIGHT FIXTURE; DIMMED @ 40% (SEPARATE CIRCUIT) COLOR - BLACK	2'-10"	13.5W LED	ASYMMETRIC	844	0.90	0°	115-9801.IES	115-980				N/A
—	E4	13	WE-EF	FLC311 SURFACE MOUNTED	COLUMN MOUNTED ACCENT LIGHT; COLOR - BLACK	7'-6"	11W LED	—	836	0.90	0°	145-7637.IES	145-7637 INCLUDE: 145-7785 (SNOOT) 145-7786 (FLAT SURFACE AND COLUMN FITTER) 145-9536 (FLAT SURFACE AND COLUMN FITTER)				
○○	E5	2	WE-EF	FLC210 LED	POLE MOUNTED SINGLE AREA LIGHT FIXTURE; COLOR - BLACK	12'-0"	13.9W LED	—	1212	0.90		139-2391_us.IES	139-2391 (SINGLE POLE CLAMP) INCLUDE: 139-2407 (SNOOT) 139-2406 (GLARE SHIELD)	LUMCA POLE	ROUND STRAIGHT ALUMINUM POLE	15'-0"	AP04-HD15-WB11-4-BK
○○	E5*	8	WE-EF	FLC210 LED	POLE MOUNTED TWIN AREA LIGHT FIXTURE; COLOR - BLACK	12'-0"	13.9W LED	—	1212	0.90		139-2391_us.IES	139-2391 (TWIN POLE CLAMP) INCLUDE: 139-2407 (SNOT) 139-2406 (GLARE SHIELD)	LUMCA POLE	ROUND STRAIGHT ALUMINUM POLE	15'-0"	AP04-HD15-WB11-4-BK (TWIN FIXTURE)
—	E6*	46	Q-TRAN	THIN-FLAT (01)	RECESSED MOUNTED UNDER BENCH; DIMMED @ 50% (SEPARATE CIRCUIT) COLOR - SATIN	1'-5"	1.44W LED	—	185	0.85	0°	TH1SW-1.5HE-30-DRY-STD-FR-ST.IES	TH1SW-1.5HE-30-DRY-STD-FR-ST.IES				
—	E6	15	Q-TRAN	THIN-FLAT (01)	RECESSED MOUNTED UNDER COLOR - SATIN	1'-5"	1.44W LED	—	185	0.85	0°	TH1SW-1.5HE-30-DRY-STD-FR-ST.IES	TH1SW-1.5HE-30-DRY-STD-FR-ST.IES				
■	E7	8	WE-EF	RLS410 LED	WALL MOUNTED LIGHT FIXTURE; COLOR - BLACK	8'-0" ABOVE FFE	7.5W LED	—	510	0.90	0°	131-9601_us.IES	131-9601				
•	E8	34	KLIK USA	KLIK LED POD XL32	CANOPY DOWNLIGHT; COLOR - BLACK	11'-0"	6.10W LED	SYMMETRIC	368	0.50	0°	LP0DXL32F-Dir-FL-W-SymRef-500.IES	LP0DXL32F-Dir-FL-W-SymRef-500				

NOTES:

1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING LOCATIONS AND ELECTRICAL LAYOUTS.
2. FINAL LOCATION OF BUILDING MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL PLANS.
3. FIXTURES TO ADHERE TO THE CRITERIA FOR DARK SKY COMPLIANCE SET FORTH BY THE INTERNATIONAL DARK SKY ASSOCIATION.
4. ALL MOUNTING METHODS, CONDUITS, WIRING AND THE SUPPLY OF THE CORRECT ELECTRICAL POWER IN ACCORDANCE WITH ALL LOCAL CODES IS THE RESPONSIBILITY OF THE INSTALLER.
5. MOUNTING TREE ACCENT LIGHTS WILL BE PROVIDED IN CERTAIN AREAS AS A FUTURE DESIGN.
6. CONTRACTOR TO CONFIRM CONTROLS SYSTEM REQUIRED BY THE OWNER AND PERMIT BID PRICING SHALL INCLUDE SYSTEM. EXTERIOR LIGHTING WILL RESPOND TO MOTION SENSORS AND PHOTOCELL AND /OR TIMECLOCK WITH MANUAL OVERRIDE AT A CENTRAL LOCATION. PROVIDE SEPARATE CIRCUITS FOR GROUPINGS OF DIMMED FIXTURES PER PLAN.

STATISTICS

DESCRIPTION	Avg.	Max.	Min.	Max/Min.	Avg/Min.
DRIVE AND PARKING - VEHICULAR	1.2 FC	3.4 FC	0.2 FC	17:01	6.0:1
SOUTH PATH - PEDESTRIAN	0.2 FC	1.4 FC	0.0 FC	N/A	N/A
NORTH EAST PATH - PEDESTRIAN	0.2 FC	0.5 FC	0.1 FC	2.0:1	5.0:1
EAST EGRESS - PEDESTRIAN	1.7 FC	5.8 FC	1.0 FC	1.7:1	5.8:1
WEST EGRESS - PEDESTRIAN	5.0 FC	21.9 FC	1.1 FC	4.5:1	19.9:1
PROPERTY LINE	0.0 FC	0.1 FC	0.0 FC	N/A	N/A

NOTE: LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT LIGHTING TO REMAIN ARE NOT INCLUDED IN THE ABOVE STATISTICS.

Date	Description	No.
	Revisions	

SIGNATURE MICHAEL SZURA DATE
N.J. LICENSED LANDSCAPE ARCHITECT
LICENSE NO. AS00815

LANGAN
Langan Engineering and Environmental Services, Inc.
300 Kimball Drive
Parsippany, NJ 07054
T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400

Project

BEACON UNITARIAN UNIVERSALIST CHURCH
SUMMIT
UNION COUNTY
NEW JERSEY
Drawing Title

Project No.	Drawing No.
101007201	
Date	
FEBRUARY 9, 2024	
Drawn By	
GR	
Checked By	
DB	
Sheet 18 of 19	

NOTE:
LIGHTING LAYOUT BASED ON PLANS PREPARED
BY JAMES CLOTFELTER, LIGHTING DESIGN,
DATED JANUARY 31, 2024.

20
0 5 10 20
SCALE: 1 INCH = 20 FEET

