



## Common Council of the City of Summit

Closed Session Agenda for Tuesday, March 16, 2021

**Virtual Meeting**

**6 : 4 5 p m – 7 : 2 0 p m**

(Produced by the Office of the Secretary to the Mayor and Council)

### **ADEQUATE NOTICE**

### **RESOLUTION – AUTHORIZE CLOSED SESSION**

1. Collective Bargaining Matters - NJSA 10:4-12.B (4)
2. Purchase, lease or acquisition of property with public funds - NJS A 10:4-12.b (5)
3. Public safety tactics and techniques - NJS A 10:4-12.b (6)
4. Litigation and/or attorney-client privilege matters - NJS A 10:4-12.b (7)
  - Friends of Summit Public Art – Memorandum of Understanding
5. Contract Negotiations (not collective bargaining) - NJS A 10:4-12.b (7)
6. Personnel and Appointments matters - NJS A 10.4-12.b (8)
  - Extend Leave with Pay - Parking Services Agency Employee
  - Zoning Board Appointment
  - Silver Summit Senior Citizens Advisory Committee – Add New Member
  - Memo – City Clerk, re Unfilled Appointments
- Mayor's Appointments:  
(confirmation required)
  - Arts Committee (1)
  - Community Programs Advisory Board  
(1 Seniors Rep.)
  - Rent Commission (1 Tenant Rep.)  
(no confirmation required)
  - Education, Board of (3)
- Known for discussion
- \* Known for consideration

Only matters that have bullet points under them were known to need discussion at the time of agenda creation. The other subjects are those permitted for discussion and are listed in case they are needed.

### **ADJOURN CLOSED SESSION**



## Common Council of the City of Summit

## **Regular Meeting Agenda for Tuesday, March 16, 2021 7:30 PM**

## ***Virtual Meeting***

(Produced by the Office of the Secretary to the Mayor and Council)

## **ADMINISTRATIVE POLICIES & COMMUNITY RELATIONS COMMITTEE**

Thursday 4:30 pm – 5:00 pm Clerk’s Law Library  
Naidu, Allen, Rogers, Licatese

## CAPITAL PROJECT & COMMUNITY SERVICES COMMITTEE

Monday 8:30 am – 10:00 am DCS Conference Room  
Little, Naidu, Schrager

## **COMMUNITY PROGRAMS & PARKING SERVICES COMMITTEE**

Thursday 8:30 am – 9:30 am Large Conference Room  
O’Sullivan, Little, McNany, Ozoroski

## FINANCE COMMITTEE

Monday 4:00 pm – 5:00 pm Large Conference Room  
Vartan, O’Sullivan, Fox, Mayor Radest, Rogers, Baldwin

## **LAW & LABOR COMMITTEE**

Tuesday 2:00 pm – 3:00 pm Clerk's Law Library  
Allen, Hairston, Rogers, Licatise, Giacobbe, Kavanagh

## **SAFETY & HEALTH COMMITTEE (Police and Fire)**

*\*Due to current COVID-19 protocols, all meetings shall be conducted via video or teleconferencing.*

(STAFF REMINDER: Please provide Committee Agendas for the Council President, City Administrator, and the Secretary for distribution on Wednesday.)

## **CALL TO ORDER**

### **ADEQUATE NOTICE COMPLIANCE STATEMENT**

*Adequate notice of this meeting has been provided by the City Clerk's Office in the preparation of the council meeting notice, dated March 11, 2021, which was properly distributed and posted per statutory requirements.*

## **ROLL CALL**

## **PLEDGE OF ALLEGIANCE**

### **EXPLANATORY NOTE REGARDING CLOSED SESSION**

*A closed session meeting, as authorized by State statute, was announced and held prior to the start of this meeting and the known items for discussion were listed on the published Closed Session agenda.*

### **EXPLANATORY NOTE REGARDING HEARINGS AND COMMENTS**

*Please be advised that council meetings are broadcast live on Comcast Channel 36 and Verizon Channel 30 and rebroadcast on Thursdays and Saturdays on HTTV on Comcast 36 and Verizon 33. This meeting is also streaming live through YouTube. To view this meeting via YouTube, please visit the city's website at [cityofsummit.org](http://cityofsummit.org) and click on the YouTube icon at the top of the home page.*

*While this council meeting is being broadcast live and members of the governing body are participating remotely, steps have been put in place to accommodate public input during this meeting through public notice, dated March 11, 2021, which provided information for those wishing to participate during Public Comment periods at this council meeting. The City Clerk's Office also provided, through public notice, instructions on how the public could submit a question or comment via email or regular first-class mail in advance of the meeting. Public comment will be permitted at specified times as outlined in the agenda. Please refrain from commenting until solicited by the Council President.*

*For those members of the public who wish to make a comment during a designated public comment period, please use the "raise hand" feature and you will be called upon by the Council President.*

*Unless you are using an electronic device to follow the meeting agenda or need it for professional emergency contact purposes, please turn it off. Lastly, we ask that all participants remain on "mute" unless called upon to speak. Thank you.*

(The following matters were known at agenda deadline. Other matters may arise thereafter that need timely consideration or reaction.)

## **APPROVAL OF MINUTES**

- Regular and Closed Session Meetings of March 2, 2021
- Special Meeting of March 8, 2021

## **REPORTS**

- Mayor, City Administrator and Council President

## **CEREMONIAL AWARDS**

- Recognition of Retiring Volunteers - Transfer Station Task Force

## **PUBLIC COMMENTS**

*At this point in the meeting Council welcomes comments from any member of the public about issues that are **not** topics on tonight's business agenda. Whenever an audience or Council member reads from a prepared statement, please provide a copy to the City Clerk at [rlicatese@cityofsummit.org](mailto:rlicatese@cityofsummit.org). To help facilitate an orderly meeting and to permit all to be heard, speakers are asked to limit their comments to 3 minutes.*

## **ORDINANCE FOR HEARING**

### **CAPITAL PROJECTS & COMMUNITY SERVICES**

<u>Number</u>	<u>Title</u>	<u>Introduction Date</u>
21-3229	<b>AN ORDINANCE OF THE CITY OF SUMMIT IN THE COUNTY OF UNION, NEW JERSEY ADOPTING NEW STORMWATER MANAGEMENT REGULATIONS PURSUANT TO N.J.A.C. 7:8 AND REPEALING AND REPLACING SECTION 26-1, STORMWATER MANAGEMENT, OF CHAPTER 26, STORMWATER MANAGEMENT REGULATIONS, OF THE REVISED GENERAL ORDINANCES OF THE CITY OF SUMMIT (Amend Stormwater Management Regulations)</b>	03/02/21

## **ORDINANCE(S) FOR FINAL CONSIDERATION**

*No comments are permitted at this point since the hearing is closed.*

### **CAPITAL PROJECTS & COMMUNITY SERVICES**

<u>Number</u>	<u>Title</u>	<u>Introduction Date</u>
21-3229	<b>AN ORDINANCE OF THE CITY OF SUMMIT IN THE COUNTY OF UNION, NEW JERSEY ADOPTING NEW STORMWATER MANAGEMENT REGULATIONS PURSUANT TO N.J.A.C. 7:8 AND REPEALING AND REPLACING SECTION 26-1, STORMWATER MANAGEMENT, OF CHAPTER 26, STORMWATER MANAGEMENT REGULATIONS, OF THE REVISED GENERAL ORDINANCES OF THE CITY OF SUMMIT (Amend Stormwater Management Regulations)</b>	03/02/21

## **ORDINANCE(S) FOR INTRODUCTION**

*\*Hearings will be at the meeting indicated below, unless otherwise noted*

<u>Number</u>	<u>Title</u>	<u>Hearing Date</u>
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### **FINANCE**

(ID # 7712)	<b>ORDINANCE TO EXCEED THE MUNICIPAL BUDGET APPROPRIATION LIMITS AND TO ESTABLISH A CAP BANK (N.J.S.A. 40A: 4-45.14)</b> <i>(Establish CAP Bank)</i>	04/6/21
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### **CAPITAL PROJECTS & COMMUNITY SERVICES**

(ID # 7754)	<b>AN ORDINANCE AMENDING CHAPTER 3, POLICE REGULATIONS, SECTION 3-8, NOISE RESTRICTIONS, SUBSECTION 3-8.1, NOISE PROHIBITIONS TO PROVIDE FOR A PILOT PROGRAM TO BAN THE USE OF GAS-POWERED LEAF BLOWERS</b> <i>(Establish pilot program banning use of gas-powered leaf blowers)</i>	04/6/21
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### **CAPITAL PROJECTS & COMMUNITY SERVICES**

(ID # 7757)	<b>AN ORDINANCE TO AMEND THE CODE, APPENDIX A, SCHEDULE OF FEES, CONTAINED IN THE REVISED GENERAL ORDINANCES OF THE CITY OF SUMMIT.</b> <i>(Construction Permit Fees)</i>	04/6/21
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## **RESOLUTIONS**

*(Staff reports are attached as appropriate. Items are listed according to Council Committees, those in **italics** indicate secondary committee reference. Unless otherwise indicated, or desired by Committee Chair, or a Council member advises that they will be voting in the negative, all Committee resolutions may be voted on at once.)*

### **FINANCE**

(ID # 7733)	1. Authorize Emergency Temporary Appropriations - Municipal Operating Budget <i>(Roll Call Vote)</i>
(ID # 7765)	2. Authorize Emergency Temporary Appropriations - Sewer Utility <i>(Roll Call Vote)</i>
(ID # 7756)	3. Authorize Renewal of Summit City Cooperative Pricing System #192SCCPS
(ID # 7735)	4. Authorize Submission of Grant Application Union County 2021 Infrastructure And Municipal Aid and Execution of Grant Agreement - City Hall Records Management Improvement Project

## **LAW & LABOR**

(ID # 7599) 1. Authorize Execution of Memorandum of Understanding With Friends of Summit Public Art (*Pending Closed Session discussion*)

(ID # 7736) 2. Extend Leave with Pay - Parking Services Agency Employee (*Pending Closed Session discussion*)

## **CAPITAL PROJECTS & COMMUNITY SERVICES**

(ID # 7609) 1. Award Bid - Spring 2021 Citywide Tree Planting - \$52,025.00

(ID # 7377) 2. Authorize GSA Contract Purchase - Transfer Station Compost Building Shell Replacement - \$269,078.00

(ID # 7611) 3. Authorize Purchase of Mack Single Axle Dump Truck - Educational Services Commission of NJ Cooperative Pricing System - \$103,555.10

(ID # 7677) 4. Authorize Purchase of Dump Body, Plow Kit, and Spreader System - Educational Services Commission of NJ Cooperative Pricing System - \$61,033.61

(ID # 7716) 5. Authorize Submission of Grant Application and Execution of Grant Agreement - Union County 2021 Infrastructure And Municipal Aid Engineering Project

(ID # 7708) 6. Authorize Submission of Grant Application - New Jersey American Water Company Environmental Grant Program and Execute Agreement

(ID # 7720) 7. Authorize Assignment of Contract and Amend Indemnification Language - 2021 Consultant Engineering Services

(ID # 7760) 8. Authorize Cub Scouts Pack 360 Community Project - Community Cleanup at Martin's Brook, Along Butler Parkway & Village Green

(ID # 7737) 9. Authorize Professional Services Agreement in Excess of \$17,500.00- Broad Street West Redevelopment Financial Advisor Services - Not To Exceed \$75,000.00

(ID # 7763) 10. Appoint Zoning Board Member - Alternate No. 4 (*Pending Closed Session discussion*)

## **COMMUNITY PROGRAMS & PARKING SERVICES**

(ID # 7687) 1. Amend Contract - Parking Pay-by-Phone Services - Parkmobile LLC - Convenience Fee Paid by End User, Effective May 1, 2021

(ID # 7715) 2. Authorize Scaled Reduction - 2021 Fee - SFAC Food Concession 2017-2021

(ID # 7750) 3. Amend Membership - Silver Summit Senior Citizens Advisory Committee - Add Organization and Appoint as New Member (*Pending Closed Session discussion*)

## **CONSENT AGENDA**

## SAFETY & HEALTH

(ID # 7762)      Grant Permission & Set Forth Conditions - Department of  
Community Programs 2021 Egg Hunt Race

## FINANCE

(ID # 7675)	1. Authorize Refund Overpayment of 2020 Taxes
(ID # 7753)	2. Authorize Parking Refunds - Summit SmartCard, Prepaid Parking, and Overnight Parking Permits
(ID # 7691)	3. Authorizing Payment of Bills - \$782,600.26

## **COUNCIL MEMBERS' COMMENTS/NEW BUSINESS**

## **ADJOURNMENT REGULAR MEETING**

**CLOSED SESSION (IF NEEDED AND AUTHORIZED)**

**EXPLANATORY NOTE REGARDING CORRESPONDENCE, STAFF & LIAISON REPORTS, AND GENERAL INFORMATION ITEMS**

By end of business on Friday before the meeting, unless otherwise indicated, all items on the agenda are distributed to the Mayor, Council, City Administrator, City Treasurer and City Solicitor. Department Heads and the Press are advised via email that the official agenda is available for review on the City's website. An official "Board" copy is available for public inspection in the City Clerk's Office, the Summit Free Public Library reference desk and on the City's website. Oral reports and delayed distributions are noted as needed. Information that arrives after the agenda is completed and sent to the "distribution list" has only been provided to the Mayor, Council, City Administrator and affected Department Head(s).

## **CORRESPONDENCE**

## Purchasing Letter - Spring 2021 Citywide Tree Planting

RECEIVED AND FILED

## **ORDINANCES AND RESOLUTIONS EXPLANATION:**

A governing body of a municipality may formally act through ordinances or resolutions. Ordinances usually encompass legislative acts. Resolutions usually deal with administrative or acts performed according to legal authority, established procedures or instructions from the Common Council.

## Ordinances:

An act initiated by the Common Council that becomes law. The violation of an ordinance may result in summonses being issued. Generally, an ordinance remains in effect until repealed or modified and may not be amended or modified by a resolution. It requires a public hearing and publications in the town's legal paper before becoming effective. Examples of ordinances are those which deal with changing parking or speed limit requirements, code enforcement, implementing State mandates at the local level and creating boards or commissions.

**Resolutions:**

Any act or regulation that is required to be reduced to writing but may be finally passed at the meeting at which it is introduced. The legal effect of a resolution is the same as an ordinance except summonses cannot be issued for their violation. Generally, life of a resolution is permanent unless there is language to the contrary. Typical resolutions deal with: Opinion expressions; Requests for action to other elected officials or bodies or governmental agency[s]; One-time actions and Routine authorizations such as making appointments and awarding contracts.

City Clerk's Office



TO: Mayor and Common Council  
FROM: Rick Matias, Assistant Engineer  
DATE: February 8, 2021

## **SUMMARY**

Section 26-1 of the City's Revised General Ordinances pertains to the State mandated stormwater management rules for major developments within the City. The much anticipated amendments to New Jersey's stormwater management rules went into effect in 2020 and all municipalities are required to revise their specific ordinances in March of 2021. The new regulations require and allow the use of green infrastructure to mimic the natural cycle of water; capture, filter, absorb and re-use by engineers when preparing development plans amongst other changes. The amendments proposed in our ordinance reflect the changes that are required.

As part of the City's most recent Development Regulations Ordinance Revisions, The City had already included similar language for minor developments. Minor developments are projects that do not meet the definition of a major development. The major development definition was also amended to now include one (1) acre or more of land disturbance, a quarter acre (1/4) or more of new regulated impervious and now a quarter acre (1/4) or more of new regulated motor vehicle surface, in addition to a combination thereof. With the approval of this ordinance amendment, the City will now have green infrastructure requirements and possibilities for both minor and major developments.

At this time, the revised ordinance should be introduce for a hearing that will be held at the March 16, 2021 Council Meeting.

<b>ORDINANCE #</b>	<b>21-3229</b>
Introduction Date:	3/2/2021
Hearing Date:	3/16/2021
Passage Date:	
Effective Date:	

**An Ordinance of the City of Summit in the County of Union, New Jersey Adopting New Stormwater Management Regulations Pursuant To N.J.A.C. 7:8 and Repealing and Replacing Section 26-1, Stormwater Management, of Chapter 26, Stormwater Management Regulations, of The Revised General Ordinances of the City of Summit**

ORDINANCE #	(ID # 7630)
Introduction Date:	3/2/2021
Hearing Date:	3/16/2021
Passage Date:	
Effective Date:	

**AN ORDINANCE OF THE CITY OF SUMMIT IN THE COUNTY OF UNION, NEW JERSEY  
ADOPTING NEW STORMWATER MANAGEMENT REGULATIONS PURSUANT TO N.J.A.C. 7:8  
AND REPEALING AND REPLACING SECTION 26-1, STORMWATER MANAGEMENT, OF  
CHAPTER 26, STORMWATER MANAGEMENT REGULATIONS, OF THE REVISED GENERAL  
ORDINANCES OF THE CITY OF SUMMIT**

*Ordinance Summary: This ordinance repeals and replaces Chapter 26, Stormwater Management Regulations, Section 26-1, Stormwater Management, of the Revised General Ordinances of the City of Summit, to reflect amendments to the Stormwater Management Rules promulgated by the New Jersey Department of Environmental Protection and codified at N.J.A.C. 7:8.*

WHEREAS, on March 2, 2020, the New Jersey State Department of Environmental Protection (NJDEP) adopted amendments to the Stormwater Management Rules for Tier A & B Municipalities, N.J.A.C. 7:8; and

WHEREAS, the City of Summit's stormwater management regulations must be revised to conform with the NJDEP's amended rules and must be adopted and become effective by March 3, 2021; and

WHEREAS, the NJDEP also published, in March 2020, a Model Stormwater Control Ordinance for Municipalities; and

WHEREAS, the Common Council wishes to adopt a customized version of the NJDEP's March 2020 Model Stormwater Control Ordinance at this time in order to ensure the City's compliance with the new Stormwater Management Rules.

NOW THEREFORE, BE IT ORDAINED by the Common Council of the City of Summit, in Union County, New Jersey as follows:

Section 1. Section 26-1, "Stormwater Management," of Chapter 26, "Stormwater Management Regulations" is hereby repealed in its entirety and replaced with a new Section 26-1, "Stormwater Management," which shall read as follows:

**§26-1 STORMWATER MANAGEMENT**

**§ 26-1.1 Scope, Purpose and General Intent.**

**A. Policy Statement.**

The general intent of this section is to manage the increase rate and velocity of surface water runoff created by alterations in the ground cover and natural runoff patterns.

Flood control, groundwater recharge, and pollutant reduction shall be achieved through the use of stormwater management measures, including green infrastructure Best Management Practices (GI BMPs) and nonstructural stormwater management strategies. GI BMPs and low impact development (LID) should be utilized to meet the goal of maintaining natural hydrology to reduce stormwater runoff volume, reduce erosion, encourage infiltration and groundwater recharge, and reduce pollution. GI BMPs and LID should be developed based upon physical site conditions and the origin, nature and the anticipated quantity, or amount, of potential pollutants. Multiple stormwater management BMPs may be necessary to achieve the established performance standards for water quality, quantity, and groundwater recharge.

**B. Purpose.**

It is the purpose of this section to establish minimum stormwater management requirements and controls for "major development," as defined in section 26-1.2 and to reduce the amount of nonpoint source pollution entering surface and ground waters. Unmitigated stormwaters from areas altered by development may pose public health and safety threats. This section establishes the administrative mechanisms necessary for the City of Summit to ensure proper stormwater management. This section is written to work in conjunction with current State and Federal regulations. This section guides development in a manner that is proactive and minimizes harmful impacts to natural resources. To protect the public health, safety and welfare of the citizens of the City of Summit and surrounding communities, this Section is deemed necessary and essential in order to:

1. Prevent artificially induced flood damage to public health, life, and property;
2. Minimize increased stormwater runoff rates and volumes;
3. Minimize the deterioration of existing structures that would result from increased rates of stormwater runoff;
4. Induce water recharge into the ground wherever suitable infiltration, soil permeability, and favorable geological conditions exist;
5. Prevent an increase in nonpoint source pollution and enhance the quality of nonpoint runoff by water retention measures;
6. Maintain the integrity and stability of stream channels and buffers for their ecological functions, as well as for drainage, the conveyance of floodwater, and other purposes;
7. Control and minimize soil erosion and the transport of sediment;
8. Minimize public safety hazards at any stormwater detention facility constructed pursuant to subdivision or site plan approval;
9. Maintain adequate base flow and natural flow regimes in all streams and other surface water bodies to protect the aquatic ecosystem;
10. Protect all surface water resources from degradation; and
11. Protect groundwater resources from degradation and diminution.
12. Prevent degradation of river and stream biota caused by excessive flushing and sedimentation.
13. Reduce public expenditures for replacement or repair of public facilities resulting from artificially induced flood peaks.
14. Prevent the degradation of property by enhancing the environmental character of the rivers and streams of the City.

### C. Applicability.

1. This section shall be applicable to the following major developments:
  - a. Non-residential major developments; and
  - b. Aspects of residential major developments that are not preempted by the Residential Site Improvement Standards at N.J.A.C. 5:21. The provisions of both this section and the RSIS are to be applied and reviewed concurrently for any residential development.
2. This section shall also be applicable to all major developments undertaken by the City of Summit.

### D. Compatibility with Other Permit and Ordinance Requirements.

Development approvals issued pursuant to this section are to be considered an integral part of development approvals and do not relieve the applicant of the responsibility to secure required permits or approvals for activities regulated by any other applicable code, rule, act, or ordinance. In their interpretation and New Jersey Stormwater BMP Manual application, the provisions of this section shall be held to be the minimum requirements for the promotion of the public health, safety, and general welfare.

This section is not intended to interfere with, abrogate, or annul any other ordinances, rule or regulation, statute, or other provision of law except that, where any provision of this section imposes restrictions different from those imposed by any other ordinance, rule or regulation, or other provision of law, the more restrictive provisions or higher standards shall control.

### E. Prohibition of Activities Resulting in Stormwater Runoff Damage.

No person shall obstruct or otherwise interfere with any drainageway, stormwater, stormwater runoff, or watercourse in such a manner as to cause or result in stormwater runoff damage.

## § 26-1.2 Definitions.

Unless specifically defined below, words or phrases used in this section shall be interpreted so as to give them the meaning they have in common usage and to give this section the most reasonable application. The definitions below are the same as or based on the corresponding definitions in the Stormwater Management Rules at N.J.A.C. 7:8-1.2.

**AGRICULTURAL DEVELOPMENT** - Land uses normally associated with the production of food, fiber and livestock for sale. Such uses do not include the development of land for the processing or sale of food and the manufacturing of agriculturally related products.

**BEST MANAGEMENT PRACTICE (BMP)** - Structural device, measure, facility or activity that helps to achieve stormwater management control objectives at a designated site.

**CAFRA CENTERS, CORES OR NODES** – Those areas with boundaries incorporated by reference or revised by the Department in accordance with N.J.A.C. 7:7-13.16.

**CAFRA PLANNING MAP** - The map used by the Department to identify the location of Coastal Planning Areas, CAFRA centers, CAFRA cores, and CAFRA nodes. The CAFRA Planning Map is available on the Department's Geographic Information System (GIS).

**CATEGORY 1 (C1) WATERS** - Waters of the State, including unnamed waterways that appear on Soil Survey and USGS Topographic Quadrangle within the same HUC 14 watershed, designated in N.J.A.C. 7:9B-1.15(c) through (h) for purposes of implementing the anti-degradation policies set forth at N.J.A.C. 7:9B-1.5(d) for protection from measurable changes in water quality characteristics because of their clarity, color, scenic setting, other characteristics of aesthetic value, exceptional

ecological significance, exceptional recreational significance, exceptional water supply significance, or exceptional fisheries resource(s).

**COMMUNITY BASIN** - An infiltration system, sand filter designed to infiltrate, standard constructed wetland, or wet pond, established in accordance with N.J.A.C. 7:8- 4.2(c)14, that is designed and constructed in accordance with the New Jersey Stormwater Best Management Practices Manual, or an alternate design, approved in accordance with N.J.A.C. 7:8- 5.2(g), for an infiltration system, sand filter designed to infiltrate, standard constructed wetland, or wet pond and that complies with the requirements of this Chapter.

**COMPACTION** - The increase in soil bulk density by subjecting soil to greater-than-normal loading.

**CONTRIBUTORY DRAINAGE AREA** – The area from which stormwater runoff drains to a stormwater management measure, not including the area of the stormwater management measure itself.

**CORE** - A pedestrian-oriented area of commercial and civic uses serving the surrounding municipality, generally including housing and access to public transportation.

**COUNTY REVIEW AGENCY** - An agency designated by the County Board of Chosen Freeholders to review municipal stormwater management plans and implementing ordinance(s). The County review agency may either be a:

1. County planning agency; or
2. County water resource association created under N.J.S.A. 58:16A-55.5, if the ordinance or resolution delegates authority to approve, conditionally approve, or disapprove municipal stormwater management plans and implementing ordinances.

**DEPARTMENT** - The New Jersey Department of Environmental Protection (“NJDEP”).

**DESIGNATED CENTER** - A State Development and Redevelopment Plan Center as designated by the State Planning Commission such as urban, regional, town, village, or hamlet.

**DESIGN ENGINEER** - A person professionally qualified and duly licensed in New Jersey to perform engineering services that may include, but not necessarily be limited to, development of project requirements, creation and development of project design and preparation of drawings and specifications.

**DEVELOPMENT** - The division of a parcel of land into two (2) or more parcels, the construction, reconstruction, conversion, structural alteration, relocation or enlargement of any building or structure, any mining excavation or landfill, and any use or change in the use of any building or other structure, or land or extension of use of land, by any person, for which permission is required under the Municipal Land Use Law, N.J.S.A. 40:55D-1 et seq. In the case of development of agricultural lands, development shall mean: any activity that requires a State permit; any activity reviewed by the County Agricultural Board (CAB) and the State Agricultural Development Committee (SADC), and municipal review of any activity not exempted by the Right to Farm Act, N.J.S.A. 4:1C-1 et seq.

**DISTURBANCE** - The placement or reconstruction of impervious surface or motor vehicle surface, or exposure and/or movement of soil or bedrock by any activity including the clearing, excavating, storing, grading, filling or transportation of soil or any other activity that causes soil to be exposed to the danger of erosion or clearing, cutting, or removing of vegetation. Milling and repaving is not considered disturbance for the purposes of this definition.

**DRAINAGE AREA** - A geographic area within which stormwater, sediments, or dissolved materials drain to a particular receiving waterbody or to a particular point along a receiving waterbody.

**EMPOWERMENT NEIGHBORHOOD** - A neighborhood designated by the Urban Coordinating Council in consultation and conjunction with the New Jersey Redevelopment Authority pursuant to N.J.S.A. 55:19-69.

**ENVIRONMENTALLY CONSTRAINED AREA** - the following areas where the physical alteration of the land is in some way restricted, either through regulation, easement, deed restriction or ownership such as: wetlands, floodplains,

threatened and endangered species sites or designated habitats, and parks and preserves. Habitats of endangered or threatened species are identified using the Department's Landscape Project as approved by the Department's Endangered and Nongame Species Program.

**ENVIRONMENTALLY CRITICAL AREA** - An area or feature which is of significant environmental value, including but not limited to: stream corridors; natural heritage priority sites; habitat of endangered or threatened species; large areas of contiguous open space or upland forest; steep slopes; and well head protection and groundwater recharge areas. Habitats of endangered or threatened species are identified using the Department's Landscape Project as approved by the Department's Endangered and Nongame Species Program.

**EROSION** - Shall mean the detachment and movement of soil or rock fragments by water, wind, ice or gravity.

**ESCAPE PROVISIONS** - The permanent installation of ladders, steps, rungs, or other features that provide easily accessible means of egress from stormwater management basins.

**GREEN INFRASTRUCTURE** - A stormwater management measure that manages stormwater close to its source by:

1. Treating stormwater runoff through infiltration into subsoil;
2. Treating stormwater runoff through filtration by vegetation or soil; or
3. Storing stormwater runoff for reuse.

**GROUNDWATER** - A body of water below the surface of the land in a zone of saturation where the spaces between the soil or geological materials are fully saturated with water.

**HUC 14 (HYDROLOGIC UNIT CODE 14)** - An area within which water drains to a particular receiving surface waterbody, also known as a subwatershed, which is identified by a 14-digit hydrologic unit boundary designation, delineated within New Jersey by the United States Geological Survey.

**IMPERVIOUS SURFACE** - A surface that has been covered with a layer of material so that it is highly resistant to infiltration by water relative to natural conditions in the area.

**INFILTRATION** - The process by which water seeps into the soil from precipitation to a level below the normal root soil of plant species.

**LEAD PLANNING AGENCY** – One (1) or more public entities having stormwater management planning authority designated by the regional stormwater management planning committee pursuant to N.J.A.C. 7:8-3.2, that serves as the primary representative of the committee.

**MAJOR DEVELOPMENT** –An individual “development,” as well as multiple developments that individually or collectively result in:

1. The disturbance of one or more acres of land since February 2, 2004;
2. The creation of one-quarter acre or more of “regulated impervious surface” since February 2, 2004;
3. The creation of one-quarter acre or more of “regulated motor vehicle surface” since March 2, 2021 {or the effective date of this ordinance, whichever is earlier}; or
4. A combination of 2 and 3 above that totals an area of one-quarter acre or more. The same surface shall not be counted twice when determining if the combination area equals one-quarter acre or more.

Major development includes all developments that are part of a common plan of development or sale (for example, phased residential development) that collectively or individually meet any one or more of paragraphs 1, 2, 3, or 4 above. Projects undertaken by any government agency that otherwise meet the definition of “major development” but which do not require approval under the Municipal Land Use Law, N.J.S.A. 40:55D-1 et seq., are also considered “major development.”

**MITIGATION** - An action by an applicant providing compensation or offset actions for on-site stormwater management requirements where the applicant has demonstrated the inability or impracticality of strict compliance with the stormwater

management requirements set forth in N.J.A.C. 7:8 in an adopted regional stormwater management plan or in this local ordinance, and has received a waiver from strict compliance from the City of Summit. Mitigation for the purposes of this section includes both the mitigation plan detailing how the project's failure to strictly comply will be compensated, and the implementation of the approved mitigation plan.

**MOTOR VEHICLE** - Land vehicles propelled other than by muscular power, such as automobiles, motorcycles, autocycles, and low speed vehicles. For the purposes of this definition, motor vehicle does not include farm equipment, snowmobiles, all-terrain vehicles, motorized wheelchairs, go-carts, gas buggies, golf carts, ski-slope grooming machines, or vehicles that run only on rails or tracks.

**MOTOR VEHICLE SURFACE** - Any pervious or impervious surface that is intended to be used by "motor vehicles" and/or aircraft, and is directly exposed to precipitation including, but not limited to, driveways, parking areas, parking garages, roads, racetracks, and runways.

**MUNICIPALITY** - Any city, borough, town, township, or village.

**NEW JERSEY STORMWATER BEST MANAGEMENT PRACTICES (BMP) MANUAL** - The manual maintained by the Department providing, in part, design specifications, removal rates, calculation methods, and soil testing procedure approved by the Department as being capable of contributing to the achievement of the stormwater management standards specified in this chapter. The BMP Manual is periodically amended by the Department as necessary to provide design specifications on additional best management practices and new information on already included practices reflecting the best available current information regarding the particular practice and the Department's determination as to the ability of that best management practice to contribute to compliance with the standards contained in this chapter. Alternative stormwater management measures, removal rates, or calculation methods may be utilized, subject to any limitations specified in this chapter, provided the design engineer demonstrates to the municipality, in accordance with section 26-1.5.F of this ordinance and N.J.A.C. 7:8-5.2(g), that the proposed measure and its design will contribute to achievement of the design and performance standards established by this Chapter.

**NODE** - An area designated by the State Planning Commission concentrating facilities and activities which are not organized in a compact form.

**NONSTRUCTURAL STORMWATER MANAGEMENT TECHNIQUES** - Techniques that control or reduce stormwater runoff in the absence of stormwater structures (e.g., basins and piped conveyances), such as minimizing site disturbance, preserving important site features including, but not limited to, natural vegetation, reducing and disconnecting impervious cover, minimizing slopes, utilizing native vegetation, minimizing turf grass lawns, increasing time of concentration and maintaining and enhancing natural drainage features and characteristics.

**NUTRIENT** - A chemical element or compound, such as nitrogen or phosphorus, which is essential to and promotes the development of organisms or vegetation.

**PERMEABLE** - A surface or land cover capable of transmitting or percolating a significant amount of precipitation into the underlying soils.

**PERSON** – Any individual, corporation, company, partnership, firm, association, City of Summit, or political subdivision of this State subject to municipal jurisdiction pursuant to the Municipal Land Use Law, N.J.S.A. 40:55D-1 et seq.

**PLAN** - A document approved at the site design phase that outlines the measures and practices used to control stormwater runoff at the site.

**POLLUTANT** - Any dredged spoil, solid waste, incinerator residue, filter backwash, sewage, garbage, refuse, oil, grease, sewage sludge, munitions, chemical wastes, biological materials, medical wastes, radioactive substance (except those regulated under the Atomic Energy Act of 1954, as amended (42 U.S.C. 2011 et seq.), thermal waste, wrecked or discarded equipment, rock, sand, cellar dirt, industrial, municipal, agricultural, and construction waste or runoff, or other residue discharged directly or indirectly to the land, groundwaters or surface waters of the State, or to a domestic treatment works. Pollutant includes both hazardous and nonhazardous pollutants.

**POLLUTION** - Shall mean the man-made or man-induced alteration of the chemical, physical, biological and radiological integrity of water to the extent that the pollutant concentration or level violates either the Ground Water Quality Standards (N.J.A.C. 7:9-6) or the Surface Water Quality Standards (N.J.A.C. 7:9B) of New Jersey.

**RECHARGE** - The amount of water from precipitation that infiltrates into the ground and is not evapotranspired.

**REGULATED IMPERVIOUS SURFACE** – Any of the following, alone or in combination:

1. A net increase of impervious surface;
2. The total area of impervious surface collected by a new stormwater conveyance system (for the purpose of this definition, a “new stormwater conveyance system” is a stormwater conveyance system that is constructed where one did not exist immediately prior to its construction or an existing system for which a new discharge location is created);
3. The total area of impervious surface proposed to be newly collected by an existing stormwater conveyance system; and/or
4. The total area of impervious surface collected by an existing stormwater conveyance system where the capacity of that conveyance system is increased.

**REGULATED MOTOR VEHICLE SURFACE** – Any of the following, alone or in combination:

1. The total area of motor vehicle surface that is currently receiving water;
2. A net increase in motor vehicle surface; and/or quality treatment either by vegetation or soil, by an existing stormwater management measure, or by treatment at a wastewater treatment plant, where the water quality treatment will be modified or removed.

**REVIEW AGENCY (MUNICIPAL)** - The municipal body or official that is responsible for the review of a major development project for compliance with the stormwater management requirements.

**SEDIMENT** - Solid material, mineral or organic, that is in suspension, is being transported, or has been moved from its site of origin by air, water or gravity as a product of erosion.

**SITE** - The lot or lots upon which a major development is to occur or has occurred.

**SOIL** - All unconsolidated mineral and organic material of any origin.

**SOLID AND FLOATABLE MATERIALS** - Sediment, debris, trash and other floating, suspended or settleable solids.

**SOURCE MATERIAL** - Any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing, or other industrial activities, that could be a source of pollutants in any industrial stormwater discharge to ground or surface water. Source materials include, but are not limited to, raw materials, intermediate products, final products, water materials, by-products, industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater.

**STATE DEVELOPMENT AND REDEVELOPMENT PLAN METROPOLITAN PLANNING AREA (PA1)** – An area delineated on the State Plan Policy Map and adopted by the State Planning Commission that is intended to be the focus for much of the State's future redevelopment and revitalization efforts.

**STATE PLAN POLICY MAP** - The geographic application of the State Development and Redevelopment Plan's goals and statewide policies, and the official map of these goals and policies.

**STORMWATER** – Water resulting from precipitation (including rain and snow) that runs off the land's surface, is transmitted to the subsurface, or is captured by separate storm sewers or other sewage or drainage facilities or conveyed by snow removal equipment.

**STORMWATER MANAGEMENT BASIN** - An excavation or embankment and related areas designed to retain stormwater runoff. A stormwater management basin may either be normally dry (that is, a detention basin or infiltration basin), retain water in a permanent pool (a retention basin), or be planted mainly with wetland vegetation (most constructed stormwater wetlands).

**STORMWATER MANAGEMENT BMP** - An excavation or embankment and related areas designed to retain stormwater runoff. A stormwater management BMP may either be normally dry (that is, a detention basin or infiltration system), retain water in a permanent pool (a retention basin), or be planted mainly with wetland vegetation (most constructed stormwater wetlands).

**STORMWATER MANAGEMENT MEASURE** - Any structural or nonstructural strategy, practice, technology, process, program, or other method intended to control or reduce stormwater runoff and associated pollutants, or to induce or control the infiltration or groundwater recharge of stormwater or to eliminate illicit or illegal nonstormwater discharges into stormwater conveyances.

**STORMWATER MANAGEMENT PLANNING AGENCY** - A public body authorized by legislation to prepare stormwater management plans.

**STORMWATER MANAGEMENT PLANNING AREA** - The geographic area for which a stormwater management planning agency is authorized to prepare stormwater management plans, or a specific portion of that area identified in a stormwater management plan prepared by that agency.

**STORMWATER RUNOFF** - Water flow on or across the surface of the ground in drainage facilities or in storm sewers, resulting from precipitation.

**STREAM BUFFER** - A strip of land located immediately adjacent to a stream channel consisting of natural, undisturbed vegetative cover, which serves as a transition area between uplands and riparian lands. A stream buffer may encompass wetlands, may be contained within a flood plain or floodway or may extend beyond a wetland, floodplain or floodway boundary.

**STRUCTURAL STORMWATER TECHNIQUES** - A stormwater management measure that involves control of concentrated stormwater runoff or infiltration such as stormwater basins, piped conveyance systems and manufactured stormwater devices, and can include various types of basins, filters, surfaces, and devices located on individual lots in a residential development or throughout a commercial, industrial, or institutional development site in areas not typically suited for larger, centralized structural facilities.

**THREATENED AND ENDANGERED SPECIES** - Endangered species whose prospects for survival in New Jersey are in immediate danger because of a loss or change in habitat, over-exploitation, predation, competition, disease, disturbance or contamination. Assistance is needed to prevent future extinction in New Jersey. Threatened species are those who may become endangered if conditions surrounding them begin to or continue to deteriorate. Habitats of endangered or threatened species are those identified by the Department's Landscape Project as approved by the Department's Endangered and Nongame Species Program.

**TIME OF CONCENTRATION** - The time it takes for stormwater runoff to travel from the hydraulically most distant point of the watershed to the point of interest within a watershed.

**TRANSITION AREA** - An area of protected upland adjacent to a freshwater wetland that minimizes adverse impacts on the wetland or serves as an integral component of the wetlands ecosystem. Also known as buffer area.

**TIDAL FLOOD HAZARD AREA** - A flood hazard area, which may be influenced by stormwater runoff from inland areas, but which is primarily caused by the Atlantic Ocean.

**URBAN COORDINATING COUNCIL EMPOWERMENT NEIGHBORHOOD** - A neighborhood given priority access to State resources through the New Jersey Redevelopment Authority.

**URBAN ENTERPRISE ZONE** - A zone designated by the New Jersey Enterprise Zone Authority pursuant to the New Jersey Urban Enterprise Zones Act, N.J.S.A. 52:27H-60 et seq.

**URBAN REDEVELOPMENT AREA** - Previously developed portions of areas, including but not limited to the following:

1. Delineated on the State Plan Policy Map (SPPM) as the Metropolitan Planning Area (PA1), Designated Centers, Cores or Nodes;
2. Designated as CAFRA Centers, Cores or Nodes;
3. Designated as Urban Enterprise Zones; and
4. Designated as Urban Coordinating Council Empowerment Neighborhoods.

**WATER CONTROL STRUCTURE** - A structure within, or adjacent to, a water, which intentionally or coincidentally alters the hydraulic capacity, the flood elevation resulting from the two-, 10-, or 100-year storm, flood hazard area limit, and/or floodway limit of the water. Examples of a water control structure may include a bridge, culvert, dam, embankment, ford (if above grade), retaining wall, and weir.

**WATERS OF THE STATE** - Shall mean the ocean and its estuaries, all springs, streams, wetlands, and bodies of surface or groundwater, whether natural or artificial, within the boundaries of the State of New Jersey or subject to its jurisdiction.

**WETLANDS or WETLAND** - Shall mean an area that is inundated or saturated by surface water or groundwater at a frequency and duration sufficient to support, and that under normal circumstances does support, a prevalence of vegetation typically adapted for life in saturated soil conditions, commonly known as hydrophytic vegetation.

### **§ 26-1.3 General Standards.**

#### **A. Design and Performance Standards for Stormwater Management Measures.**

1. Stormwater management measures for major development shall be designed to provide erosion control, groundwater recharge, stormwater runoff quantity control, and stormwater runoff quality treatment as follows:
  - a. The minimum standards for erosion control are those established under the Soil and Sediment Control Act, N.J.S.A. 4:24-39 et seq., and implementing rules at N.J.A.C. 2:90.
  - b. The minimum standards for groundwater recharge, stormwater quality, and stormwater runoff quantity shall be met by incorporating green infrastructure.
2. The standards in this section apply only to new major development and are intended to minimize the impact of stormwater runoff on water quality and water quantity in receiving water bodies and maintain groundwater recharge. The standards do not apply to new major development to the extent that alternative design and performance standards are applicable under a regional stormwater management plan or Water Quality Management Plan adopted in accordance with Department rules.

### **§ 26-1.4 Stormwater Management Requirements for Minor Development.**

- A. Stormwater management requirements for minor development shall be in accordance with section 35-15.2 of Article XV, Stormwater Management Requirements, of Part 3, Environmental Requirements, of Chapter 35, Development Regulations of the City of Summit Code.

### **§ 26-1.5 Stormwater Management Requirements for Major Development.**

- A. **Maintenance Plan.** The development shall incorporate a maintenance plan for the stormwater management measures incorporated into the design of a major development in accordance with subsection 26-1.11.
- B. **Threatened and Endangered Species.** Stormwater management measures shall be implemented in order to avoid adverse impacts of concentrated flow on habitat(s) for threatened and endangered species as documented in the

Department's Landscape Project or Natural Heritage Database established under N.J.S.A. 13:1B-15.147 through 15.150, particularly Helonias Bullata (Swamp Pink) and/or Clemmys Muhlenbergi (Bog Turtle).

C. Exemptions. The following linear development projects are exempt from the groundwater recharge, stormwater runoff quantity, and stormwater runoff quality requirements of subsections 26-1.5.O, P, Q and R:

1. The construction of an underground utility line provided that the disturbed areas are revegetated upon completion;
2. The construction of an aboveground utility line provided that the existing conditions are maintained to the maximum extent practicable; and
3. The construction of a public pedestrian access, such as a sidewalk or trail with a maximum width of fourteen (14) feet, provided that the access is constructed of permeable material such as, but not limited to, wood chips, unpacked gravel and porous pavement.

D. Waiver from Strict Compliance.

1. A waiver from strict compliance from the green infrastructure, groundwater recharge, stormwater runoff quality, and stormwater runoff quantity requirements of subsections 26-1.5.O, P, Q and R may be obtained for the enlargement of an existing public roadway or railroad; or the construction or enlargement of a public pedestrian access, provided that the following conditions are met:
  - a. The applicant demonstrates that there is a public need for the project that cannot be accomplished by any other means;
  - b. The applicant demonstrates through an alternatives analysis, that through the use of stormwater management measures, the option selected complies with the requirements of subsections 26-1.5.O, P, Q and R to the maximum extent practicable;
  - c. The applicant demonstrates that, in order to meet the requirements subsections 26-1.5.O, P, Q and R, existing structures currently in use, such as homes and buildings, would need to be condemned; and
  - d. The applicant demonstrates that it does not own or have other rights to areas, including the potential to obtain through condemnation lands not falling under subsection 26-1.5.D.1.c. above within the upstream drainage area of the receiving stream, that would provide additional opportunities to mitigate the requirements of subsections 26-1.5.O, P, Q and R that were not achievable onsite.
2. A waiver from strict compliance from such projects can only be obtained if the applicant agrees to undertake a suitable mitigation measure identified in the mitigation section of the City of Summit's Stormwater Management Plan. In such cases, the applicant must submit a mitigation plan detailing how the project's failure to strictly comply will be compensated. In cases where a waiver is granted, the applicant should provide mitigation within the same watershed within which the subject project is proposed. If mitigation within the same watershed is not possible and/or practical the applicant shall contribute funding toward a regional stormwater control project or provide for equivalent treatment at an alternate location, or other equivalent water quality benefit, in lieu of implementing the required stormwater control measures on their specific site. Said mitigation must be reviewed and agreed upon by the City of Summit and City Engineer prior to commencement of mitigation work.
- E. Tables 1 through 3 below summarize the ability of stormwater best management practices identified and described in the New Jersey Stormwater Best Management Practices Manual to satisfy the green infrastructure, groundwater recharge, stormwater runoff quality and stormwater runoff quantity standards specified in subsections 26-1.5.O, P, Q and R. When designed in accordance with the most current version of the New Jersey Stormwater Best Management Practices Manual, the stormwater management measures found at N.J.A.C. 7:8-5.2 (f) Tables 5-1, 5-2 and 5-3 and listed below in Tables 1, 2 and 3 are presumed to be capable of providing stormwater controls for the design and performance standards as outlined in the tables below. Upon amendments of the New Jersey Stormwater Best Management Practices to reflect additions or deletions of BMPs meeting these standards, or changes in the presumed performance of BMPs designed in accordance with the New Jersey Stormwater BMP Manual, the Department shall publish in the New Jersey Registers a notice of administrative change revising the applicable

table. The most current version of the BMP Manual can be found on the Department's website at [https://njstormwater.org/bmp\\_manual2.htm](https://njstormwater.org/bmp_manual2.htm).

F. Where the BMP tables in the NJ Stormwater Management Rule are different due to updates or amendments with the tables in this ordinance the BMP Tables in the Stormwater Management rule at N.J.A.C. 7:8- 5.2(f) shall take precedence.

<b>Table 1</b> <b>Green Infrastructure BMPs for Groundwater Recharge, Stormwater Runoff Quality, and/or Stormwater Runoff Quantity</b>				
<b>Best Management Practice</b>	<b>Stormwater Runoff Quality TSS Removal Rate (percent)</b>	<b>Stormwater Runoff Quantity</b>	<b>Groundwater Recharge</b>	<b>Minimum Separation from Seasonal High Water Table (feet)</b>
Cistern	0	Yes	No	--
Dry Well <sup>(a)</sup>	0	No	Yes	2
Grass Swale	50 or less	No	No	2 <sup>(e)</sup> 1 <sup>(f)</sup>
Green Roof	0	Yes	No	--
Manufactured Treatment Device <sup>(a)(g)</sup>	50 or 80	No	No	Dependent upon the device
Pervious Paving System <sup>(a)</sup>	80	Yes	Yes <sup>(b)</sup> No <sup>(c)</sup>	2 <sup>(b)</sup> 1 <sup>(c)</sup>
Small-Scale Bioretention Basin <sup>(a)</sup>	80 or 90	Yes	Yes <sup>(b)</sup> No <sup>(c)</sup>	2 <sup>(b)</sup> 1 <sup>(c)</sup>
Small-Scale Infiltration Basin <sup>(a)</sup>	80	Yes	Yes	2
Small-Scale Sand Filter	80	Yes	Yes	2
Vegetative Filter Strip	60-80	No	No	--

(Notes corresponding to annotations (a) through (g) are found following Table 3 below)

**Table 2**  
**Green Infrastructure BMPs for Stormwater Runoff Quantity**  
**(or for Groundwater Recharge and/or Stormwater Runoff Quality**  
**with a Waiver or Variance from N.J.A.C. 7:8-5.3)**

<b>Best Management Practice</b>	<b>Stormwater Runoff Quality TSS Removal Rate (percent)</b>	<b>Stormwater Runoff Quantity</b>	<b>Groundwater Recharge</b>	<b>Minimum Separation from Seasonal High Water Table (feet)</b>
Bioretention System	80 or 90	Yes	Yes <sup>(b)</sup> No <sup>(c)</sup>	2 <sup>(b)</sup> 1 <sup>(c)</sup>
Infiltration Basin	80	Yes	Yes	2
Sand Filter <sup>(b)</sup>	80	Yes	Yes	2
Standard Constructed Wetland	90	Yes	No	N/A
Wet Pond <sup>(d)</sup>	50-90	Yes	No	N/A

(Notes corresponding to annotations (a) through (g) are found following Table 3 below)

**Table 3**  
**BMPs for Groundwater Recharge, Stormwater Runoff Quality, and/or**  
**Stormwater Runoff Quantity**  
**only with a Waiver or Variance from N.J.A.C. 7:8-5.3**

<b>Best Management Practice</b>	<b>Stormwater Runoff Quality TSS Removal Rate (percent)</b>	<b>Stormwater Runoff Quantity</b>	<b>Groundwater Recharge</b>	<b>Minimum Separation from Seasonal High Water Table (feet)</b>
Blue Roof	0	Yes	No	N/A
Extended Detention Basin	40-60	Yes	No	1
Manufactured Treatment Device <sup>(h)</sup>	50 or 80	No	No	Dependent upon the device
Sand Filter <sup>(c)</sup>	80	Yes	No	1

Subsurface Gravel Wetland	90	No	No	1
Wet Pond	50-90	Yes	No	N/A

Notes to Tables 1, 2, and 3:

- (a) subject to the applicable contributory drainage area limitation specified at subsection 26-1.5.O.2;
- (b) designed to infiltrate into the subsoil;
- (c) designed with underdrains;
- (d) designed to maintain at least a 10-foot wide area of native vegetation along at least 50 percent of the shoreline and to include a stormwater runoff retention component designed to capture stormwater runoff for beneficial reuse, such as irrigation;
- (e) designed with a slope of less than two percent;
- (f) designed with a slope of equal to or greater than two percent;
- (g) manufactured treatment devices that meet the definition of green infrastructure at subsection 26-1.2;
- (h) manufactured treatment devices that do not meet the definition of green infrastructure at subsection 26-1.2.

G. An alternative stormwater management measure, alternative removal rate, and/or alternative method to calculate the removal rate may be used if the design engineer demonstrates the capability of the proposed alternative stormwater management measure and/or the validity of the alternative rate or method to the municipality. A copy of any approved alternative stormwater management measure, alternative removal rate, and/or alternative method to calculate the removal rate shall be provided to the Department in accordance with section 26-1.7.C. Alternative stormwater management measures may be used to satisfy the requirements at subsection 26-1.5.O. only if the measures meet the definition of green infrastructure at subsection 26-1.2. Alternative stormwater management measures that function in a similar manner to a BMP listed at subsection 26-1.5.O.2. are subject to the contributory drainage area limitation specified at subsection 26-1.5.O.2. for that similarly functioning BMP. Alternative stormwater management measures approved in accordance with this subsection that do not function in a similar manner to any BMP listed at subsection 26-1.5.O.2. shall have a contributory drainage area less than or equal to 2.5 acres, except for alternative stormwater management measures that function similarly to cisterns, grass swales, green roofs, standard constructed wetlands, vegetative filter strips, and wet ponds, which are not subject to a contributory drainage area limitation. Alternative measures that function similarly to standard constructed wetlands or wet ponds shall not be used for compliance with the stormwater runoff quality standard unless a variance in accordance with N.J.A.C. 7:8-4.6 or a waiver from strict compliance in accordance with section 26-1.5.D. is granted from section 26-1.5.O.

H. Whenever the stormwater management design includes one or more BMPs that will infiltrate stormwater into subsoil, the design engineer shall assess the hydraulic impact on the groundwater table and design the site, so as to avoid adverse hydraulic impacts. Potential adverse hydraulic impacts include, but are not limited to, exacerbating a naturally or seasonally high water table, so as to cause surficial ponding, flooding of basements, or interference with the proper operation of subsurface sewage disposal systems or other subsurface structures within the zone of influence of the groundwater mound, or interference with the proper functioning of the stormwater management measure itself.

I. Design standards for stormwater management measures are as follows:

1. Stormwater management measures shall be designed to take into account the existing site conditions, including, but not limited to, environmentally critical areas, wetlands; flood-prone areas; slopes; depth to seasonal high water table; soil type; permeability and texture; drainage area and drainage patterns; and the presence of solution-prone carbonate rocks (limestone).
2. Stormwater management measures shall be designed to minimize maintenance, facilitate maintenance and repairs, and ensure proper functioning. Trash racks shall be installed at the intake to the outlet structure as appropriate and shall have parallel bars with one (1) inch spacing between the bars to the elevation of the water

quality design storm. For elevations higher than the water quality design storm, the parallel bars at the outlet structure shall be spaced no greater than one-third (1/3) the width of the diameter of the orifice or one-third (1/3) the width of the weir, with a minimum spacing between bars of one (1) inch and a maximum spacing between bars of six (6) inches. In addition, the design of trash racks must comply with the requirements of subsection 26-1.9.C.

3. Stormwater management measures shall be designed, constructed, and installed to be strong, durable, and corrosion resistant. Measures that are consistent with the relevant portions of the Residential Site Improvement Standards at N.J.A.C. 5:21-7.3, 7.4, and 7.5 shall be deemed to meet this requirement. The measures are to be sequenced in the site development process so that erosion control standards are met and so the measure is not compromised or impaired by construction runoff.
4. Stormwater management BMPs shall be designed to meet the minimum safety standards for stormwater management BMPs at section 26-1.9; and
5. The size of the orifice at the intake to the outlet from the stormwater management BMP shall be a minimum of two and one-half (2.5) inches in diameter.
6. Where tail water will affect the hydraulic performance of a stormwater management measure, the design engineer shall include such effects in the design of said measure.

J. Manufactured treatment devices may be used to meet the requirements of this section, provided the pollutant removal rates are verified by the New Jersey Corporation for Advanced Technology and certified by the Department. Manufactured treatment devices that do not meet the definition of green infrastructure at section 26-1.2 may be used only under the circumstances described at section 26-1.5.O.4.

K. Any application for a new agricultural development that meets the definition of major development at section 26-1.5 shall be submitted to the Soil Conservation District for review and approval in accordance with the requirements at sections 26-1.5.O, P, Q and R and any applicable Soil Conservation District guidelines for stormwater runoff quantity and erosion control. For purposes of this subsection, "agricultural development" means land uses normally associated with the production of food, fiber, and livestock for sale. Such uses do not include the development of land for the processing or sale of food and the manufacture of agriculturally related products.

L. If there is more than one drainage area, the groundwater recharge, stormwater runoff quality, and stormwater runoff quantity standards at sections 26-1.5.P, Q and R shall be met in each drainage area, unless the runoff from the drainage areas converge onsite and no adverse environmental impact would occur as a result of compliance with any one or more of the individual standards being determined utilizing a weighted average of the results achieved for that individual standard across the affected drainage areas.

M. Any stormwater management measure authorized under the municipal stormwater management plan or ordinance shall be reflected in a deed notice recorded in the Office of the Union County Clerk. A form of deed notice shall be submitted to the municipality for approval prior to filing. The deed notice shall contain a description of the stormwater management measure(s) used to meet the green infrastructure, groundwater recharge, stormwater runoff quality, and stormwater runoff quantity standards at sections 26-1.5.O, P, Q and R and shall identify the location of the stormwater management measure(s) in NAD 1983 State Plane New Jersey FIPS 2900 US Feet or Latitude and Longitude in decimal degrees. The deed notice shall also reference the maintenance plan required to be recorded upon the deed pursuant to section 26-1.11.B.5. Prior to the commencement of construction, proof that the above required deed notice has been filed shall be submitted to the municipality. Proof that the required information has been recorded on the deed shall be in the form of either a copy of the complete recorded document or a receipt from the clerk or other proof of recordation provided by the recording office. However, if the initial proof provided to the municipality is not a copy of the complete recorded document, a copy of the complete recorded document shall be provided to the municipality within 180 calendar days of the authorization granted by the municipality.

N. A stormwater management measure approved under the municipal stormwater management plan or ordinance may be altered or replaced with the approval of the municipality, if the municipality determines that the proposed

alteration or replacement meets the design and performance standards pursuant to section 26-1.5 of this ordinance and provides the same level of stormwater management as the previously approved stormwater management measure that is being altered or replaced. If an alteration or replacement is approved, a revised deed notice shall be submitted to the municipality for approval and subsequently recorded with the County Registrar and shall contain a description and location of the stormwater management measure, as well as reference to the maintenance plan, in accordance with M above. Prior to the commencement of construction, proof that the above required deed notice has been filed shall be submitted to the municipality in accordance with M above.

**O. Green Infrastructure Standards.**

1. This subsection specifies the types of green infrastructure BMPs that may be used to satisfy the groundwater recharge, stormwater runoff quality, and stormwater runoff quantity standards.
2. To satisfy the groundwater recharge and stormwater runoff quality standards at sections 26-1.5.P and Q, the design engineer shall utilize green infrastructure BMPs identified in Table 1 at section 26-1.5.F. and/or an alternative stormwater management measure approved in accordance with section 26-1.5.G. The following green infrastructure BMPs are subject to the following maximum contributory drainage area limitations:

<b>Best Management Practice</b>	<b>Maximum Contributory Drainage Area</b>
Dry Well	1 acre
Manufactured Treatment Device	2.5 acres
Pervious Pavement Systems	Area of additional inflow cannot exceed three times the area occupied by the BMP
Small-scale Bioretention Systems	2.5 acres
Small-scale Infiltration Basin	2.5 acres
Small-scale Sand Filter	2.5 acres

3. To satisfy the stormwater runoff quantity standards at section 26-1.5.R, the design engineer shall utilize BMPs from Table 1 or from Table 2 and/or an alternative stormwater management measure approved in accordance with section 26-1.5.G.
4. If a variance in accordance with N.J.A.C. 7:8-4.6 or a waiver from strict compliance in accordance with section 26-1.5.D is granted from the requirements of this subsection, then BMPs from Table 1, 2, or 3, and/or an alternative stormwater management measure approved in accordance with section 26-1.5.G may be used to meet the groundwater recharge, stormwater runoff quality, and stormwater runoff quantity standards at section 26-1.5.P, Q and R.
5. For separate or combined storm sewer improvement projects, such as sewer separation, undertaken by a government agency or public utility (for example, a sewerage company), the requirements of this subsection shall only apply to areas owned in fee simple by the government agency or utility, and areas within a right-of-way or easement held or controlled by the government agency or utility; the entity shall not be required to obtain additional property or property rights to fully satisfy the requirements of this subsection. Regardless of the amount of area of a separate or combined storm sewer improvement project subject to the green infrastructure requirements of this subsection, each project shall fully comply with the applicable groundwater recharge, stormwater runoff quality control, and stormwater runoff quantity standards at sections 26-1.5.P, Q and R, unless the project is granted a waiver from strict compliance in accordance with section 26-1.5.D.

**P. Erosion Control, Groundwater Recharge and Runoff Quantity Standards.**

1. This subsection contains the minimum design and performance standards to control erosion, encourage and control infiltration and groundwater recharge, and control stormwater runoff quantity impacts of major development projects as follows:
  - a. The minimum design and performance standards for erosion control are those established under the Soil Erosion and Sediment Control Act, N.J.S.A. 4:24-39 et seq. and implementing rules.
  - b. The minimum design and performance standards for groundwater recharge are as follows:
    - i. The design engineer shall, using the assumptions and factors for stormwater runoff and groundwater recharge calculations at section 26-1.6, either:
      - [a] Demonstrate through hydrologic and hydraulic analysis that the site and its stormwater management measures maintain 100 percent of the average annual pre-construction groundwater recharge volume for the site; or
      - [b] Demonstrate through hydrologic and hydraulic analysis that the increase of stormwater runoff volume from pre-construction to post-construction for the 2-year storm is infiltrated.
    - ii. This groundwater recharge requirement does not apply to projects within the “urban redevelopment area,” or to projects subject to 4 below.
    - iii. The following types of stormwater shall not be recharged:
      - [a] Stormwater from areas of high pollutant loading. High pollutant loading areas are areas in industrial and commercial developments where solvents and/or petroleum products are loaded/unloaded, stored, or applied, areas where pesticides are loaded/unloaded or stored; areas where hazardous materials are expected to be present in greater than “reportable quantities” as defined by the United States Environmental Protection Agency (EPA) at 40 CFR 302.4; areas where recharge would be inconsistent with Department approved remedial action work plan or landfill closure plan and areas with high risks for spills of toxic materials, such as gas stations and vehicle maintenance facilities; and
      - [b] Industrial stormwater exposed to “source material.” “Source material” means any material(s) or machinery, located at an industrial facility, that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater.
    - iv. The design engineer shall assess and certify the hydraulic impact on the groundwater table and design the site so as to avoid adverse hydraulic impacts. Potential adverse hydraulic impacts include, but are not limited to, raising the groundwater table so as to cause surface ponding, flooding of basements and other subsurface facilities, and interference with the proper operation of subsurface sewage disposal systems and other subsurface structures in the vicinity or down gradient of the groundwater recharge area.

#### Q. Stormwater Runoff Quality Standards.

1. This subsection contains the minimum design and performance standards to control stormwater runoff quality impacts of major development. Stormwater runoff quality standards are applicable when the major development results in an increase of one-quarter (1/4) acre or more of regulated motor vehicle surface.

2. Stormwater management measures shall be designed to reduce the postconstruction load of total suspended solids (TSS) in stormwater runoff generated from the water quality design storm as follows:
  - a. Eighty percent (80%) TSS removal of the anticipated load, expressed as an annual average shall be achieved for the stormwater runoff from the net increase of motor vehicle surface.
  - b. If the surface is considered regulated motor vehicle surface because the water quality treatment for an area of motor vehicle surface that is currently receiving water quality treatment either by vegetation or soil, by an existing stormwater management measure, or by treatment at a wastewater treatment plant is to be modified or removed, the project shall maintain or increase the existing TSS removal of the anticipated load expressed as an annual average.
3. The requirement to reduce TSS does not apply to any stormwater runoff in a discharge regulated under a numeric effluent limitation for TSS imposed under the New Jersey Pollutant Discharge Elimination System (NJPDES) rules, N.J.A.C. 7:14A, or in a discharge specifically exempt under a NJPDES permit from this requirement. Every major development, including any that discharge into a combined sewer system, shall comply with 2 above, unless the major development is itself subject to a NJPDES permit with a numeric effluent limitation for TSS or the NJPDES permit to which the major development is subject exempts the development from a numeric effluent limitation for TSS.
4. The water quality design storm is 1.25 inches of rainfall in two hours. Water quality calculations shall take into account the distribution of rain from the water quality design storm, as reflected in Table 4, below. The calculation of the volume of runoff may take into account the implementation of stormwater management measures.

**Table 4 – Water Quality Design Storm Distribution**

Time (Minutes)	Cumulative Rainfall (Inches)	Time (Minutes)	Cumulative Rainfall (Inches)	Time (Minutes)	Cumulative Rainfall (Inches)
1	0.00166	41	0.1728	81	1.0906
2	0.00332	42	0.1796	82	1.0972
3	0.00498	43	0.1864	83	1.1038
4	0.00664	44	0.1932	84	1.1104
5	0.00830	45	0.2000	85	1.1170
6	0.00996	46	0.2117	86	1.1236
7	0.01162	47	0.2233	87	1.1302
8	0.01328	48	0.2350	88	1.1368
9	0.01494	49	0.2466	89	1.1434
10	0.01660	50	0.2583	90	1.1500
11	0.01828	51	0.2783	91	1.1550
12	0.01996	52	0.2983	92	1.1600
13	0.02164	53	0.3183	93	1.1650
14	0.02332	54	0.3383	94	1.1700
15	0.02500	55	0.3583	95	1.1750
16	0.03000	56	0.4116	96	1.1800
17	0.03500	57	0.4650	97	1.1850
18	0.04000	58	0.5183	98	1.1900
19	0.04500	59	0.5717	99	1.1950
20	0.05000	60	0.6250	100	1.2000
21	0.05500	61	0.6783	101	1.2050
22	0.06000	62	0.7317	102	1.2100
23	0.06500	63	0.7850	103	1.2150
24	0.07000	64	0.8384	104	1.2200
25	0.07500	65	0.8917	105	1.2250
26	0.08000	66	0.9117	106	1.2267
27	0.08500	67	0.9317	107	1.2284
28	0.09000	68	0.9517	108	1.2300
29	0.09500	69	0.9717	109	1.2317
30	0.10000	70	0.9917	110	1.2334
31	0.10660	71	1.0034	111	1.2351
32	0.11320	72	1.0150	112	1.2367
33	0.11980	73	1.0267	113	1.2384
34	0.12640	74	1.0383	114	1.2400
35	0.13300	75	1.0500	115	1.2417
36	0.13960	76	1.0568	116	1.2434
37	0.14620	77	1.0636	117	1.2450
38	0.15280	78	1.0704	118	1.2467
39	0.15940	79	1.0772	119	1.2483
40	0.16600	80	1.0840	120	1.2500

5. If more than one BMP in series is necessary to achieve the required 80 percent (80%) TSS reduction for a site, the applicant shall utilize the following formula to calculate TSS reduction:

$$R = A + B - (A \times B) / 100,$$

Where:

R = total TSS Percent Load Removal from application of both BMPs,

A = the TSS Percent Removal Rate applicable to the first BMP and

B = the TSS Percent Removal Rate applicable to the second BMP.

6. Stormwater management measures shall also be designed to reduce, to the maximum extent feasible, the post-construction nutrient load of the anticipated load from the developed site in stormwater runoff generated from the water quality design storm. In achieving reduction of nutrients to the maximum extent feasible, the design of the site shall include green infrastructure BMPs that optimize nutrient removal while still achieving the performance standards in sections 26-1.5.P, Q and R. This standard may be superseded by a more stringent numeric effluent limitation imposed under the New Jersey Pollution Discharge Elimination System (NJPDES) rules, N.J.A.C. 7:14A, or in a discharge specifically exempt under a NJPDES permit from this requirement. Daily limits for nutrient loading (TMDL) may apply to the site development based on conditions of regulatory approvals.
7. In accordance with the definition of FW1 at N.J.A.C. 7:9B-1.4, stormwater management measures shall be designed to prevent any increase in stormwater runoff to waters classified as FW1.
8. The Flood Hazard Area Control Act Rules at N.J.A.C. 7:13-4.1(c)1 establish 300-foot riparian zones along Category One waters, as designated in the Surface Water Quality Standards at N.J.A.C. 7:9B, and certain upstream tributaries to Category One waters. A person shall not undertake a major development that is located within or discharges into a 300-foot riparian zone without prior authorization from the Department under N.J.A.C. 7:13.
9. Pursuant to the Flood Hazard Area Control Act Rules at N.J.A.C. 7:13-11.2(j)3.i, runoff from the water quality design storm that is discharged within a 300-foot riparian zone shall be treated in accordance with this subsection to reduce the postconstruction load of total suspended solids by 95 percent of the anticipated load from the developed site, expressed as an annual average.
10. These stormwater runoff quality standards do not apply to the construction of one individual single-family dwelling, provided that it is not part of a larger development or subdivision that has received preliminary or final site plan approval prior to December 3, 2018, and that the motor vehicle surfaces are made of permeable material(s) such as gravel, dirt, and/or shells.

**R. Stormwater Runoff Quantity Standards.**

1. This subsection contains the minimum design and performance standards to control stormwater runoff quantity impacts of major development.
2. In order to control stormwater runoff quantity impacts, the design engineer shall, using the assumptions and factors for stormwater runoff calculations at section 26-1.6, complete one (1) of the following:
  - a. Demonstrate through hydrologic and hydraulic analysis that for stormwater leaving the site, post-construction runoff hydrographs for the 2-, 10-, and 100- year storm events do not exceed, at any point in time, the pre-construction runoff hydrographs for the same storm events;
  - b. Demonstrate through hydrologic and hydraulic analysis that there is no increase, as compared to the pre-construction condition, in the peak runoff rates of stormwater leaving the site for the 2-, 10- and 100-year storm events and that the increased volume or change in timing of stormwater runoff will not increase flood

damage at or downstream of the site. This analysis shall include the analysis of impacts of existing land uses and projected land uses assuming full development under existing zoning and land use ordinances in the drainage area;

- c. Design stormwater management measures so that the post-construction peak runoff rates for the 2-, 10- and 100-year storm events are 50, 75 and 80 percent, respectively, of the pre-construction peak runoff rates. The percentages apply only to the post-construction stormwater runoff that is attributable to the portion of the site on which the proposed development or project is to be constructed; or
- d. In tidal flood hazard areas, stormwater runoff quantity analysis in accordance with 2.a, b and c above is required unless the design engineer demonstrates through hydrologic and hydraulic analysis that the increased volume, change in timing, or increased rate of the stormwater runoff, or any combination of the three will not result in additional flood damage below the point of discharge of the major development. No analysis is required if the stormwater is discharged directly into any ocean, bay, inlet, or the reach of any watercourse between its confluence with an ocean, bay, or inlet and downstream of the first water control structure.

3. The stormwater runoff quantity standards shall be applied at the site's boundary to each abutting lot, roadway, watercourse, or receiving storm sewer system.

#### **§ 26-1.6 Calculation of Stormwater Runoff and Groundwater Recharge.**

A. Stormwater runoff shall be calculated in accordance with the following:

- 1. The design engineer shall calculate runoff using one (1) of the following methods:
  - a. The USDA Natural Resources Conservation Service (NRCS) methodology, including the NRCS Runoff Equation and Dimensionless Unit Hydrograph, as described in Chapters 7, 9, 10, 15 and 16 Part 630, Hydrology National Engineering Handbook, incorporated herein by reference as amended and supplemented. This methodology is additionally described in Technical Release 55 - Urban Hydrology for Small Watersheds (TR-55), dated June 1986, incorporated herein by reference as amended and supplemented. Information regarding the methodology is available from the Natural Resources Conservation Service website at [https://www.nrcs.usda.gov/Internet/FSE\\_DOCUMENTS/stelprdb1044171.pdf](https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/stelprdb1044171.pdf) or at United States Department of Agriculture Natural Resources Conservation Service, 220 Davison Avenue, Somerset, New Jersey 08873; or
  - b. The Rational Method for peak flow and the Modified Rational Method for hydrograph computations. The rational and modified rational methods are described in "Appendix A-9 Modified Rational Method" in the Standards for Soil Erosion and Sediment Control in New Jersey, January 2014. This document is available from the State Soil Conservation Committee or any of the Soil Conservation Districts listed at N.J.A.C. 2:90-1.3(a)3. The location, address, and telephone number for each Soil Conservation District is available from the State Soil Conservation Committee, PO Box 330, Trenton, New Jersey 08625. The document is also available at <http://www.nj.gov/agriculture/divisions/anr/pdf/2014NJSoilErosionControlStandardsComplete.pdf>.
- 2. For the purpose of calculating runoff coefficients and groundwater recharge, there is a presumption that the pre-construction condition of a site or portion thereof is a wooded land use with good hydrologic condition. The term "runoff coefficient" applies to both the NRCS methodology above at section 26-1.6.A.1.b. and the Rational and Modified Rational Methods at section 26-1.6.A.1.b. A runoff coefficient or a groundwater recharge land cover for an existing condition may be used on all or a portion of the site if the design engineer verifies that the hydrologic condition has existed on the site or portion of the site for at least five years without interruption prior to the time of application. If more than one (1) land cover have existed on the site during the five years immediately prior to the time of application, the land cover with the lowest runoff potential shall be used for the computations. In addition, there is the presumption that the site is in good hydrologic condition (if the land

use type is pasture, lawn, or park), with good cover (if the land use type is woods), or with good hydrologic condition and conservation treatment (if the land use type is cultivation).

3. In calculating pre-construction stormwater runoff, the design engineer shall account for all significant land features and structures, such as ponds, wetlands, depressions, hedgerows, and/or culverts, that may reduce pre-construction stormwater runoff rates and/or volumes.
4. In calculating stormwater runoff from all design storms, the design engineer shall consider the relative stormwater runoff rates and/or volumes of pervious and impervious surfaces separately to accurately compute the rates and volume of stormwater runoff from the site within the drainage area. To calculate runoff from unconnected impervious cover, urban impervious area modifications as described in the NRCS Technical Release 55 – Urban Hydrology for Small Watersheds or other methods may be employed.
5. If the invert of the outlet structure of a stormwater management measure is below the flood hazard design flood elevation as defined at N.J.A.C. 7:13, the design engineer shall take into account the effects of tailwater in the design of structural stormwater management measures.

B. Groundwater recharge may be calculated in accordance with the following:

The New Jersey Geological Survey Report GSR-32, A Method for Evaluating Groundwater-Recharge Areas in New Jersey, incorporated herein by reference as amended and supplemented. Information regarding the methodology is available from the New Jersey Stormwater Best Management Practices Manual; at the New Jersey Geological Survey website at <https://www.nj.gov/dep/njgs/pricelst/gsreport/gsr32.pdf> or at New Jersey Geological and Water Survey, 29 Arctic Parkway, PO Box 420 Mail Code 29-01, Trenton, New Jersey 08625-0420.

#### § 26-1.7 Sources for Technical Guidance.

- A. Technical guidance for stormwater management measures can be found in the documents listed below, which are available to download from the Department's website at [http://www.nj.gov/dep/stormwater/bmp\\_manual2.htm](http://www.nj.gov/dep/stormwater/bmp_manual2.htm).
  1. Guidelines for stormwater management measures are contained in the New Jersey Stormwater Best Management Practices Manual, as amended and supplemented. Information is provided on stormwater management measures such as, but not limited to, those listed in Tables 1, 2, and 3.
  2. Additional maintenance guidance is available on the Department's website at: [https://www.njstormwater.org/maintenance\\_guidance.htm](https://www.njstormwater.org/maintenance_guidance.htm).
- B. Additional technical guidance for stormwater management measures can be obtained from the following:
  1. The "Standards for Soil Erosion and Sediment Control in New Jersey" promulgated by the State Soil Conservation Committee and incorporated into N.J.A.C. 2:90. Copies of these standards may be obtained by contacting the State Soil Conservation Committee or any of the Soil Conservation Districts listed in N.J.A.C. 2:90-1.3(a)4. The location, address, and telephone number of each Soil Conservation District may be obtained from the State Soil Conservation Committee, P.O. Box 330, Trenton, New Jersey 08625; (609) 292-5540 or the Somerset-Union County Soil Conservation District; Somerset County 4-H Center; 308 Milltown Road; Bridgewater, NJ 08807; (908)526-2701.
  2. The Rutgers Cooperative Extension Service, 732-932-9306; and
  3. The United States Environmental Protection Agency, including the National Management Measures to Control Nonpoint Source Pollution from Urban Areas, available at the Web site: <http://www.epa.gov/owow/nps/urbanmm/index.html>.

4. Field guides of the United States Department of Agriculture, Natural Resources Conservation Environmental Protection, 428 East State Street, P.O. Box 420, Trenton, New Jersey 08625; (609) 777-1038.
5. Other similarly authoritative governmental or trade association sources acceptable to the City of Summit.

C. Submissions required for review by the Department should be mailed to The Division of Water Quality, New Jersey Department of Environmental Protection, Mail Code 401-02B, PO Box 420, Trenton, New Jersey 08625-0420.

### § 26-1.8 Solids and Floatable Materials Control Standards.

A. Site design features identified under section 26-1.5.F above, or alternative designs in accordance with section 26-1.5.G above, to prevent discharge of trash and debris from drainage systems shall comply with the following standard to control passage of solid and floatable materials through storm drain inlets. For purposes of this paragraph, "solid and floatable materials" means sediment, debris, trash, and other floating, suspended, or settleable solids. For exemptions to this standard see section 26-1.8.A.2. below.

1. Design engineers shall use one of the following grates whenever they use a grate in pavement or another ground surface to collect stormwater from that surface into a storm drain or surface water body under that grate:
  - a. The New Jersey Department of Transportation (NJDOT) bicycle safe grate, which is described in Chapter 2.4 of the NJDOT Bicycle Compatible Roadways and Bikeways Planning and Design Guidelines; or
  - b. A different grate, if each individual clear space in that grate has an area of no more than seven (7.0) square inches or is no greater than 0.5 inches across the smallest dimension. Examples of grates subject to this standard include grates in grate inlets, the grate portion (non-curb-opening portion) of combination inlets, grates on storm sewer manholes, ditch grates, trench grates, and grates of spacer bars in slotted drains. Examples of ground surfaces include surfaces of roads (including bridges), driveways, parking areas, bikeways, plazas, sidewalks, lawns, fields, open channels, and stormwater system floors used to collect stormwater from the surface into a storm drain or surface water body.
  - c. For curb-opening inlets, including curb-opening inlets in combination inlets, the clear space in that curb opening, or each individual clear space if the curb opening has two or more clear spaces, shall have an area of no more than seven (7.0) square inches, or be no greater than two (2.0) inches across the smallest dimension.
2. The standard in A.1. above does not apply:
  - a. Where each individual clear space in the curb opening in existing curb-opening inlet does not have an area of more than nine (9.0) square inches;
  - b. Where the municipality agrees that the standards would cause inadequate hydraulic performance that could not practicably be overcome by using additional or larger storm drain inlets;
  - c. Where flows from the water quality design storm as specified in N.J.A.C. 7:8 are conveyed through any device (e.g., end of pipe netting facility, manufactured treatment device, or a catch basin hood) that is designed, at a minimum, to prevent delivery of all solid and floatable materials that could not pass through one of the following:
    - i. A rectangular space four and five-eighths (4.625) inches long and one and one-half (1.5) inches wide (this option does not apply for outfall netting facilities); or
    - ii. A bar screen having a bar spacing of 0.5 inches.

\*Note that these exemptions do not authorize any infringement of requirements in the Residential Site Improvement Standards for bicycle safe grates in new residential development (N.J.A.C. 5:21-4.18(b)2 and 7.4(b)1).

- d. Where flows are conveyed through a trash rack that has parallel bars with one inch (1 inch) spacing between the bars, to the elevation of the Water Quality Design Storm as specified in N.J.A.C. 7:8; or
- e. Where the New Jersey Department of Environmental Protection determines, pursuant to the New Jersey Register of Historic Places Rules at N.J.A.C. 7:4- 7.2(c), that action to meet this standard is an undertaking that constitutes an encroachment or will damage or destroy the New Jersey Register listed historic property.

### **§ 26-1.9 Safety Standards for Stormwater Management Basins.**

- A. General Scope. This subsection sets forth requirements to protect public safety through the proper design and operation of stormwater management BMPs. This section applies to any new stormwater management BMP.
- B. The provisions of this subsection are not intended to preempt more stringent municipal or county safety requirements for new or existing stormwater management BMPs. Municipal and county stormwater management plans and ordinances may, pursuant to their authority, require existing stormwater management BMPs to be retrofitted to meet one or more of the safety standards in sections 26-1.9.C.1, C.2, and C.3 for trash racks, overflow grates, and escape provisions at outlet structures.
- C. Requirements for Trash Racks, Overflow Grates and Escape Provisions.
  - 1. A trash rack is a device designed to catch trash and debris and prevent the clogging of outlet structures. Trash racks shall be installed at the intake to the outlet from the Stormwater management BMP to ensure proper functioning of the BMP outlets in accordance with the following:
    - a. The trash rack shall have parallel bars, with no greater than six-inch spacing between the bars;
    - b. The trash rack shall be designed so as not to adversely affect the hydraulic performance of the outlet pipe or structure;
    - c. The average velocity of flow through a clean trash rack is not to exceed 2.5 feet per second under the full range of stage and discharge. Velocity is to be computed on the basis of the net area of opening through the rack; and
    - d. The trash rack shall be constructed of rigid, durable, and corrosion resistant material and designed to withstand a perpendicular live loading of 300 pounds per square foot.
  - 2. An overflow grate is a device intended to protect the opening in the top of a stormwater management measure outlet structure. It is designed to prevent obstruction of the overflow structure. If an outlet structure has an overflow grate, such grate shall meet the following requirements:
    - a. The overflow grate shall be secured to the outlet structure but removable for emergencies and maintenance.
    - b. The overflow grate spacing shall be no less than two inches across the smallest dimension.
    - c. The overflow grate shall be constructed and installed to be rigid, durable, and corrosion resistant, and shall be designed to withstand a perpendicular live loading of 300 pounds per square foot.
  - 3. Stormwater management BMPs shall include escape provisions as follows:

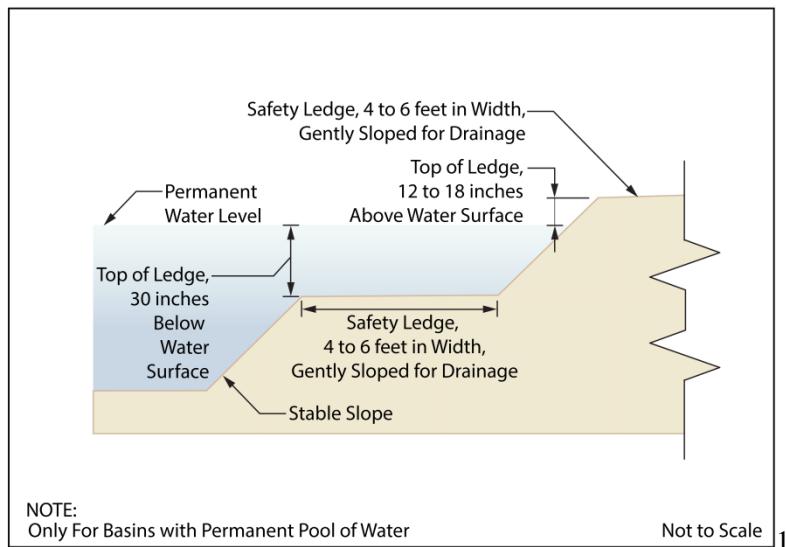
- a. If a stormwater management BMP has an outlet structure, escape provisions shall be incorporated in or on the structure. Escape provisions include the installation of permanent ladders, steps, rungs, or other features that provide easily accessible means of egress from stormwater management BMPs. With the prior approval of the reviewing agency and/or City Engineer pursuant to section 26-1.9.C, a free-standing outlet structure may be exempted from this requirement;
- b. Safety ledges shall be constructed on the slopes of all new stormwater management BMPs having a permanent pool of water deeper than two and one-half feet. Safety ledges shall be comprised of two (2) steps. Each step shall be four (4) to six (6) feet in width. One (1) step shall be located approximately two and one-half feet below the permanent water surface, and the second step shall be located one to one and one-half feet above the permanent water surface. See section 26-1.9.E. for an illustration of safety ledges in a stormwater management BMP; and
- c. In new stormwater management BMPs, the maximum interior slope for an earthen dam, embankment, or berm shall not be steeper than three (3) horizontal to one (1) vertical.
- d. An emergency drawdown method for detention basins is required where the permanent pool will be more than two and one-half (2.5) feet deep. This drawdown method must consider downstream or off-site stability at the outfall in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey.

**D. Variance or Exemption from Safety Standard.**

A variance or exemption from the safety standards for stormwater management BMPs may be granted only upon a written finding by the reviewing authority that the variance or exemption will not constitute a threat to public safety.

**E. Safety Ledge Illustration.**

**Elevation View – Basin Safety Ledge Configuration**



**§ 26-1.10 Requirements for a Site Development Stormwater Plan.**

**A. Submission of Site Development Stormwater Plan.**

1. Whenever an applicant seeks municipal approval of a development subject to this ordinance, the applicant shall submit all of the required components of the Checklist for the Site Development Stormwater Plan at section 26-1.10.C below as part of the submission of the application for approval.

2. The applicant shall demonstrate through submission requirements that the project meets the standards set forth in this Section.
3. The applicant shall submit a minimum of three (3) copies to the Engineering Division of the materials listed in the checklist for site development stormwater plans in accordance with section 26-1.10.C.

B. Site Development Stormwater Plan Approval.

The applicant's Site Development project shall be reviewed as a part of the review process by the municipal board or official from whom municipal approval is sought. That municipal board or official shall consult the engineer retained by the Planning and/or Zoning Board to determine if all of the checklist requirements have been satisfied and to determine if the project meets the standards set forth in this section.

C. Checklist Requirements. The following information shall be required:

1. Existing Site Conditions Base Map, Including Topography and the Following Information:
  - a. The reviewing engineer may require upstream tributary drainage system information as necessary. It is recommended that the topographic base map of the site be submitted which extends a minimum of 200 feet beyond the limits of the proposed development, at a scale of 1"=200' or greater, showing 2-foot contour intervals.
  - b. The map as appropriate may indicate the following (when applicable): existing surface water drainage, shorelines, steep slopes, soils, erodible soils, perennial or intermittent streams that drain into or upstream of the Category One waters, wetlands and flood plains along with their appropriate buffer strips, marshlands and other wetlands, pervious or vegetative surfaces, existing man-made structures, roads, bearing and distances of property lines, and significant natural and manmade features not otherwise shown.
2. Environmental Site Analysis.

A written and graphic description of the natural and man-made features of the site and its surroundings should be submitted. This description should include a discussion of soil conditions, slopes, wetlands, waterways and vegetation on the site. Particular attention should be given to unique, unusual, or environmentally sensitive features and to those that provide particular opportunities or constraints for development.
3. Project Description and Site Plans.

A map (or maps) at the scale of the topographical base map indicating the location of existing and proposed buildings roads, parking areas, utilities, structural facilities for stormwater management and sediment control, and other permanent structures. The map(s) shall also clearly show areas where alterations will occur in the natural terrain and cover, including lawns and other landscaping, and seasonal high groundwater elevations. A written description of the site plan and justification for proposed changes in natural conditions shall also be provided.
4. Land Use Planning and Source Control Plan.

This plan shall provide a demonstration of how the goals and standards of sections 26-1.3 through 1.6 are being met. The focus of this plan shall be to describe how the site is being developed to meet the objective of controlling groundwater recharge, stormwater quality and stormwater quantity problems at the source by land management and source controls whenever possible. The applicant should refer to the City of Summit Stormwater Management Plan and the City of Summit Stormwater Pollution Prevention Plan for additional requirements.

## 5. Stormwater Management Facilities Map.

The following information, illustrated on a map of the same scale as the topographic base map, shall be included:

- a. Total area to be disturbed, paved or built upon, proposed surface contours, land area to be occupied by the stormwater management facilities and the type of vegetation thereon, and details of the proposed plan to control and dispose of stormwater.
- b. Details of all stormwater management facility designs, during and after construction, including discharge provisions, discharge capacity for each outlet at different levels of detention and emergency spillway provisions with maximum discharge capacity of each spillway.

## 6. Calculations.

- a. Comprehensive hydrologic and hydraulic design calculations for the predevelopment and post-development conditions for the design storms specified in section 26-1.5 of this ordinance.
- b. When the proposed stormwater management control measures (e.g. infiltration basins) depend on the hydrologic properties of soils or require certain separation from the seasonal high water table, then a soils report shall be submitted. The soils report shall be based on onsite boring logs or soil pit profiles. The number and location of required soil borings or soil pits shall be determined based on what is needed to determine the suitability and distribution of soils present at the location of the control measure. The City of Summit shall be notified of site investigation activities and given the opportunity to have a witness, either prior to approval or as a condition of approval, as appropriate for the specific type of measure. Subsequent to approval of the development, post-construction bulk soil density and infiltration testing shall be required for all infiltration measures that were used as justification for meeting the recharge standard, to ensure that they were properly constructed.

## 7. Maintenance and Repair Plan.

The design and planning of the stormwater management facility shall meet the maintenance requirements of section 26-1.11.

## 8. Waiver from Submission Requirements.

The City of Summit official or board reviewing an application under this section may, in consultation with the City Engineer, waive submission of any of the requirements in section 26-1.10.C.1 through C.6 when it can be demonstrated that the information requested is impossible to obtain or it would create a hardship on the applicant to obtain and its absence will not materially affect the review process.

## **§ 26-1.11 Maintenance and Repair.**

### A. Applicability.

Projects subject to review as in section 26-1.1.C of this section shall comply with the requirements of sections 26-1.11.B and C.

### B. General Maintenance.

1. The design engineer shall prepare a maintenance plan for the stormwater management measures incorporated into the design of a major development. This plan shall be separate from all other documents and designed for ongoing use by the site owner(s) or operator(s) in performing and documenting maintenance and repair, and by the City of Summit in ensuring implementation of the maintenance plan. The final maintenance plan shall be

updated and provided to the City of Summit post-construction to include an evaluation based on the specifications of the initial maintenance plan and as-built conditions.

2. The maintenance plan shall contain specific preventative maintenance tasks and schedules; cost estimates, including estimated cost of sediment, debris, or trash removal; and the name, address, and telephone number of the person or persons responsible for preventative and corrective maintenance (including replacement). The plan shall contain information on BMP location, design, ownership, maintenance tasks and frequencies, and other details as specified in Chapter 8 of the NJ BMP Manual, as well as the tasks specific to the type of BMP, as described in the applicable chapter containing design specifics.
3. If the maintenance plan identifies a person other than the property owner (for example, a developer, a public agency or homeowners' association) as having the responsibility for maintenance, the plan shall include documentation of such person's or entity's agreement to assume this responsibility, or of the owner's obligation to dedicate a stormwater management facility to such person under an applicable ordinance or regulation.
4. Responsibility for maintenance shall not be assigned or transferred to the owner(s) or tenant(s) of an individual property in a residential development or project, unless such owner(s) or tenant(s) owns or leases the entire residential development or project. The individual property owner may be assigned incidental tasks, such as weeding of a green infrastructure BMP, provided the individual agrees to assume these tasks; however, the individual cannot be legally responsible for all of the maintenance required.
5. If the party responsible for maintenance identified under section 26-1.11.B.3 above is not a public agency, the maintenance plan and any future revisions based on section 26-1.11.B.7 below shall be recorded upon the deed of record for each property on which the maintenance described in the maintenance plan must be undertaken.
6. Preventative and corrective maintenance shall be performed to maintain the functional parameters (storage volume, infiltration rates, inflow/outflow capacity, etc.) of the stormwater management measure, including, but not limited to, repairs or replacement to the structure; removal of sediment, debris, or trash; restoration of eroded areas; snow and ice removal; fence repair or replacement; restoration of vegetation; and repair or replacement of non-vegetated linings.
7. The party responsible for maintenance identified under section 26-1.11.B.3 above shall perform all of the following requirements:
  - a. Maintain a detailed log of all preventative and corrective maintenance for the structural stormwater management measures incorporated into the design of the development, including a record of all inspections and copies of all maintenance-related work orders;
  - b. Evaluate the effectiveness of the maintenance plan at least once per year and adjust the plan and the deed as needed; and
  - c. Retain, submit annually to the City Engineer and make available, upon request by any public entity with administrative, health, environmental, or safety authority over the site, the maintenance plan and the documentation required by sections 26-1.11.B.6 and B.7 above.
8. The requirements of sections 26-1.11.B.3 and B.4 do not apply to stormwater management facilities that are dedicated to and accepted by the municipality or another governmental agency, subject to all applicable municipal stormwater general permit conditions, as issued by the City or another governmental agency of competent jurisdiction.
9. Authorized representatives of the City of Summit, including, but not limited to, the City Engineer, Public Works Manager and Construction Official may enter the site as needed in order to conduct on-site inspections as discussed in section 26-1.11.D. The inspections shall be required to review and confirm that the information filed in the required reports as stated in section 26-1.11.B.5. are correct. Additional inspections and reviews may be made as deemed appropriate by the City of Summit.

10. In the event that the stormwater management facility becomes a danger to public safety or public health, or if it is in need of maintenance or repair, the City Engineer shall so notify the responsible person in writing. Upon receipt of that notice, the responsible person shall have seven (7) calendar days from the receipt of the notice to temporarily correct the violations and fourteen (14) calendar days from receipt of notice to permanently maintain or repair the facility in a manner that is approved by the City Engineer or their designee. The City Engineer, in their discretion, may extend the time allowed for effecting maintenance and repair for good cause. If the responsible person fails or refuses to perform such maintenance and repair, the City of Summit may immediately proceed to do so and shall bill the cost thereof to the responsible person, enforce penalties and/or liens as determined by the City of Summit and as described below. Nonpayment of such bill may result in a lien on the property.

C. Performance Guarantee. Nothing in this subsection shall preclude the municipality in which the major development is located from requiring the posting of a performance or maintenance guarantee in accordance with N.J.S.A. 40:55D-53 or the City of Summit Ordinances.

D. Maintenance Access. The maintenance plan shall specifically provide a specific municipal right of access, which may include stormwater easements or covenants. The maintenance access shall be provided by the property owner(s) for access regarding facility inspections and maintenance, as required. Easements and covenants shall be recorded with the City of Summit prior to issuance of a permit.

E. Alteration of Maintenance Plan. Any alteration in maintenance responsibility or alterations to maintenance plans and agreements must be reviewed and approved by the City of Summit official or board that reviewed the application under this section in consultation with the City Engineer, Public Works Manager and Construction Official.

F. Recording of Information. All maintenance information and alterations to maintenance agreements shall be recorded with the office of the City Engineer, Department of Community Services, as described in section 26-1.11.B.9. Copies of all maintenance agreements and alterations to maintenance agreements shall be included in the applicant's stormwater management plans and documents. Recording of the maintenance agreements in accordance with this section shall be the responsibility of the owner.

#### § 26-1.12 Implementation of Regulations.

A. Limit of Disturbance. Critical impact areas and other areas to be left undisturbed shall be physically marked with survey stakes or protected with temporary snow fence prior to any land disturbance.

B. Timing. The approving authority shall require the construction and/or installation of surface water management improvements in accordance with the schedule of sequence of installation as approved.

C. Bonding. The approving authority shall provide for the posting of performance guaranties and maintenance bonds when necessary.

D. Inspection.

1. The applicant shall bear full and final responsibility for the installation and construction of all required surface water runoff control measures according to the provisions of his/her approved plan and this section. The City Engineer shall inspect the site during its preparation and development and certify that all surface water management measures have been constructed in accordance with the provisions of the applicant's approved plan under this section.
2. During the 12 months subsequent to the date of completion, the City Engineer or Consultant shall periodically inspect the site to ascertain that the provisions of the applicant's approved plan are complied with, including limit of contract for areas to be left undisturbed. The City Engineer or Consultant shall give the applicant, upon request, a certificate indicating the date on which the required measures were completed and/or accepted.

3. No inspection shall be undertaken unless the Chief Financial Officer shall have first certified the availability of funds in an amount not less than \$300.

E. Review and Inspection Fees. For the review and inspection required by this section, the fees that must be paid to the Clerk of the approving authority are as follows:

1. Review fee for a single lot is \$200.
2. Inspection fee for a single lot is \$500.

F. Maintenance.

1. At the time of approval of the plan, responsibility for continued maintenance of surface water runoff control structures and measures shall be stipulated and properly recorded.
2. The City shall retain the right to enter and make repairs and improvements where necessary to ensure that all control measures as well as areas dedicated to surface water retention or groundwater recharge are adequately maintained and preserved. The City may charge the property owner for the costs of these services if such maintenance is his/her responsibility.

G. Issuance of Certificate of Occupancy. No certificate of occupancy shall issue unless and until the surface water management plan has been reviewed, the improvements made in accordance with the plan, and the inspection has been certified by the City Engineer.

#### § 26-1.13      **Penalties.**

Any person who erects, constructs, alters, repairs, converts, maintains, or uses any building, structure or land in violation of this section shall be subject to the following penalties:

A. Responsibility for Administration. The Public Works Manager, City Engineer and Building Department Official shall administer, implement and enforce the provisions of this section. Any powers granted or duties imposed upon the Public Works Manager, City Engineer or Building Department Official may be delegated in writing to the person(s) or entities acting in the best interest of or in the employment of the City of Summit.

B. Enforcement of Penalties and Liens.

1. Should the applicant/owner fail to take the corrective actions, the City of Summit shall then have the right to take the available appropriate remedies it deems necessary to correct the violations including fining the owner up to one thousand (\$1,000.00) dollars per day for each day the applicant/owner is in violation. The City will assert a lien on the subject property in an amount equal to the costs of remedial actions if necessary. The lien shall be enforced in the manner provided or authorized by law for the enforcement of common law liens on personal property. The lien shall be recorded with the City of Summit and the applicant/owner shall incur all legal costs for the recording. The imposition of any penalty shall not exempt the offender from compliance with the provisions of this section, including assessment of a lien on the property.
2. Whenever a structural BMP is not implemented, operated, and/or maintained in accordance with the Stormwater Management Plan which has been approved in accordance with this section, any penalty invoked shall be in accordance with section 26-1.13.B.1.

#### § 26-1.14      **Severability.**

If the provisions of any subsection, paragraph, subdivision, or clause of this section shall be judged invalid by a court of competent jurisdiction or administrative agency, such order of judgment shall not affect or invalidate the remainder of any subsection, paragraph, subdivision, or clause of this section.

**Section 2.** All ordinances and resolutions or parts thereof inconsistent with this ordinance are hereby repealed as to such inconsistencies only.

**Section 3.** Following introduction and prior to adoption, the Clerk shall cause a copy of this ordinance to be referred to the Summit Planning Board for review pursuant to N.J.S.A. 40:55D26.

**Section 4.** Following enactment of this ordinance, it shall be transmitted to the Union County Planning Board for approval, with a copy to the NJDEP. Per the NJDEP's regulations, the Union County Planning Board shall have 60 days to approve, conditionally approve, or disapprove the ordinance; if no action is taken within 60 days, the ordinance shall be deemed approved. Accordingly, this ordinance shall take effect immediately upon approval by the Union County Planning Board, or upon the expiration of 60 days after the ordinance is submitted to the Union County Planning Board for approval, whichever date is sooner.

Dated:

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing ordinance was duly passed by the Common Council of said City at a regular meeting held on

Approved:

Mayor

City Clerk



TO: Mayor and Common Council  
FROM: Tammie Baldwin, City Treasurer/CFO  
DATE: February 17, 2021

Taxpayers are familiar with the Levy Cap law, which limits the amount of any property tax increase 2% above the previous year. There is a second cap, which limits spending to the Cost of Living Adjustment, or COLA, applied to most of the previous year's appropriations. Appropriations such as Debt Service, Capital Improvements, Reserve for Uncollected Taxes and Grants are excluded from this determination.

This year's COLA is 2.5% and thus limits those 'inside cap' appropriations to \$815,654.45 over last year.

This Ordinance will allow for the increase of these appropriations by up to \$1,141,916.20. Any unused amounts can then be 'banked' to be used to offset unexpected expenditures in either of the next two years without exceeding the 3.5% maximum.

ORDINANCE #	(ID # 7712)
Introduction Date:	3/16/2021
Hearing Date:	4/6/2020
Passage Date:	
Effective Date:	

**Ordinance to Exceed the Municipal Budget Appropriation Limits and to Establish a CAP Bank (N.J.S.A. 40A: 4-45.14) (Establish CAP Bank)**

*Ordinance Summary: This ordinance authorizes the City of Summit to increase its final budget appropriations subject to the cap to the statutorily permitted three and one-half percent (3.5%) or bank, for up to two years, the difference between the final appropriation subject to the cap and three and one-half percent (3.5%). This Ordinance is also known as a Cost of Living Cap Adjustment or COLA Ordinance.*

WHEREAS, the Local Government Cap Law, N.J.S.A. 40A: 4-45.1 et seq., provides that in the preparation of its annual budget, a municipality shall limit any increase in said budget to 2.5% unless authorized by ordinance to increase it to 3.5% over the previous year's final appropriations, subject to certain exceptions; and,

WHEREAS, N.J.S.A. 40A: 4-45.15a provides that a municipality may, when authorized by ordinance, appropriate the difference between the amount of its actual final appropriation and the 3.5% percentage rate as an exception to its final appropriations in either of the next two succeeding years; and,

WHEREAS, the Common Council of the City of Summit hereby determines that a 3.5% increase for said year, amounting to \$1,141,916.20 in excess of the increase in final appropriations otherwise permitted by the Local Government Cap Law, is advisable and necessary; and,

WHEREAS, the City of Summit hereby determines that any amount authorized hereinabove that is not appropriated as part of the final budget shall be retained as an exception to final appropriation in either of the next two succeeding years.

NOW, THEREFORE, BE IT ORDAINED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

1. That a majority of the full authorized membership of this governing body affirmatively concurring that, in the CY 2021 budget year, the final inside CAP appropriations of the City of Summit shall, in accordance with this ordinance and N.J.S.A. 40A: 4-45.14, be increased by 3.5%, amounting to \$1,141,916.20 and that the CY 2021 municipal budget for the City of Summit will be approved and adopted in accordance with this ordinance; and,
2. That any amount authorized hereinabove that is not appropriated as part of the final budget shall be retained as an exception to final appropriation in either of the next two succeeding years; and,
3. That a certified copy of this ordinance as introduced be filed with the Director of the Division of Local Government Services within 5 days of introduction; and,
4. That a certified copy of this ordinance upon adoption, with the recorded vote included thereon, be filed with said Director within 5 days after such adoption.

**RECORDED VOTE:**

Ayes (	Nays (	Abstain (
(		
(		
(		
(		
(		
(		Absent (
(		

BE IT FURTHER ORDAINED that a certified copy of this ordinance upon adoption, with the recorded vote included thereon, be filed with said Director within 5 days after such passage.

Dated:

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing ordinance was duly passed by the Common Council of said City at a regular meeting held on Tuesday evening,

Approved:

Mayor

City Clerk



<b>ORDINANCE #</b>	<b>(ID # 7754)</b>
Introduction Date:	3/16/2021
Hearing Date:	4/6/2021
Passage Date:	
Effective Date:	

**AN ORDINANCE AMENDING CHAPTER 3, POLICE REGULATIONS, SECTION 3-8, NOISE RESTRICTIONS, SUBSECTION 3-8.1, NOISE PROHIBITIONS TO PROVIDE FOR A PILOT PROGRAM TO BAN THE USE OF GAS-POWERED LEAF BLOWERS (establish pilot program banning use of gas-powered leaf blowers with sunset)**

*Ordinance Summary: The purpose of this ordinance is to amend Chapter 3, Police Regulations, Section 3-8, Noise Restrictions, Subsection 3-8.1, Noise Prohibitions, to ban the use of gas-powered leaf blowers, as a pilot program, during the 2021 summer season, specifically from June 1, 2021 through August 31, 2021 within the City of Summit.*

WHEREAS, the use of gas-powered leaf blowers creates a health hazard to the users of said equipment as well as to City residents by displacing significant amounts of particulate matter, chemical pesticides, pollen, and mold into the air; and

WHEREAS, the use of gas-powered leaf blowers creates a nuisance by generating low-frequency noise at higher decibels and by emitting carbon and non-carbon emissions, and interfering with City residents' quiet enjoyment of the outdoors during summer months; and

WHEREAS, the Common Council wishes to prohibit the use of gas powered leaf blowers within the City from June 1, 2021 through August 31, 2021 as pilot program.

NOW THEREFORE BE IT ORDAINED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT,  
COUNTY OF UNION, STATE OF NEW JERSEY, AS FOLLOWS:

SECTION 1. That Chapter 3, Police Regulations, Section 3-8, Noise Restrictions, Subsection 3-8.1, Noise Prohibitions, of the Code be and is hereby amended to read as follows:

The following acts are prohibited:

- b. Without in any way limiting the provisions of this section hereof, the following acts are specifically prohibited:
- 4. (a) The operation or use of any power lawnmower, leaf blower, chainsaw, woodchipper, power washers or similar property maintenance device, other than snowplows or snow blowers, by commercial or public users, except during the following hours:

	Weekdays	Saturdays	Sundays and Holidays
Commercial	8:00 a.m. to 6:00 p.m.	9:00 a.m. to 6:00 p.m.	Not permitted
Public	8:00 a.m. to 8:00 p.m.	9:00 a.m. to 6:00 p.m.	9:00 a.m. to 6:00 p.m.
Golf Courses	6:30 a.m. to 8:00 p.m.	6:30 a.m. to 6:00 p.m.	6:30 a.m. to 6:00 p.m.

- (b) Notwithstanding anything to the contrary in any section, the operation or use of any gas-powered (not electric or battery-powered) leaf blower is prohibited within the City at all times from June 1, 2021 through August 31, 2021. This prohibition applies to all users.
- (c) Any responsible party violating Section 3-8.1(b)(4)(b) shall be, on the first offense, given a warning and informed about the prohibition. Any responsible party violating Section 3-8.1(b)(4)(b) shall be subject to a fine upon conviction hereof, not exceeding \$100.00 for the second offense, \$250.00 for the third offense, and \$500.00 for the fourth and any subsequent offenses. The term "responsible party" shall mean (i) the individual who operates the gas-powered leaf blower, or (ii) in the event such individual is employed by or is an independent contractor for a lawn maintenance company or entity, then such company or entity will be solely responsible for the payment of such fines.
- (d) In the event of a hurricane, tropical storm, or similar extreme storm event or emergency, the Mayor of the City of Summit may, at his/her sole discretion, temporarily suspend the application of Section 3-8.1(b)(4)(b) for the purposes of debris cleanup or for such other emergency purposes.
- (e) The Summit Police Department or the Department of Community Services shall have the authority to enforce the provisions of this section.

**SECTION 2. SEVERABILITY.** If any paragraph, section, subsection, sentence, sentence clause, phrase or portion of this Ordinance is for any reason held invalid or unconstitutional by any Court or administrative agency of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision of such holding shall not affect the validity of the remaining paragraphs or sections hereof.

**SECTION 3. INCONSISTENCY.** All ordinances or parts of Ordinances inconsistent with this Ordinance are hereby repealed to the extent of such inconsistency.

**SECTION 4. EFFECTIVE DATE.** This Ordinance shall take effect upon final passage and publication according to law.

(Latest additions are indicated by underline, deletions by ~~strikethrough~~)

Dated:

I, Rosalia M. Licatese, City Clerk of the  
City of Summit, do hereby certify that the  
foregoing ordinance was duly passed by the  
Common Council of said City at a regular  
meeting held on

Approved:

Mayor

City Clerk



TO: Mayor and Common Council  
FROM: Aaron Schrager, City Engineer/ Acting DCS Director  
DATE: March 2, 2021

## **SUMMARY**

The 3-year trend and forecast for the NJUCC (Construction Division) Trust Account, dedicated by budget rider, remains in fairly steep decline. This is the result of a number of factors. When Celgene first purchased the former Merck campus, they invested tens of millions in re-purposing life science and animal test space to fit their needs, resulting in a windfall of sorts for the Trust Account. Upon the announcement of their acquisition by BMS, construction effectively halted as the incoming team evaluated options. Coupled with the unanticipated activity slowdown due to the pandemic last year, revenues have been off substantially during this period.

The difficulty lies in that there remains a differential between permit revenue and expenses that will continue to drain remaining surplus. We have worked to lower expenses in 2020, and now further in 2021, but while we expect activity to pick up in 2021, the only way to maintain a viable surplus is to increase revenue via a fee increase. According to the legislative history in Appendix A of the Municipal Ordinance, the last fee increase was in 2011.

At this time, I am requesting an increase to the construction permit fees and revision to the municipal ordinance to reflect these fee changes. Please let me know if you have any questions or need anything additional.

ORDINANCE #	(ID # 7757)
Introduction Date:	
Hearing Date:	
Passage Date:	
Effective Date:	

**AN ORDINANCE TO AMEND THE CODE, APPENDIX A, SCHEDULE OF FEES, CONTAINED IN THE REVISED GENERAL ORDINANCES OF THE CITY OF SUMMIT. [Construction Permits]**

*Ordinance Summary: The purpose of this ordinance is to amend Construction Permit Fees under Section 14-1.2 of Appendix A, Schedule of Fees, contained in the Revised General Ordinance of the City of Summit.*

WHEREAS, N.J.S.A. 52:27D-126a of the State Uniform Construction Code Act provides that the municipal governing body by ordinance, in accordance with standards established by the Commissioner of Community Affairs, shall set fees for plan review, construction permits, certificates of occupancy, demolition permits, moving of building permits, elevator permits and sign permits, provided, however, that such fees shall not exceed the annual costs for the operation of the enforcing agency; and

WHEREAS, N.J.A.C. 5:23-2.25 provides that a municipality, in accordance with Chapter 23 (Uniform Construction Code) of the Administrative Code, shall establish by ordinance enforcing agency fees for the following activities: plan review; construction permits; certificate of occupancy; elevator device inspections and tests; demolition permit; moving of building permit; lead abatement clearance certificate; annual electrical inspection of swimming pools, spas and hot tubs; and sign permit.

WHEREAS, N.J.A.C. 5:23-2.25 further provides that the fee shall be collected prior to the issuance of the permit or certificate and that the schedule of such fees shall be posted in the office of the construction official and shall be accessible to the public; and

WHEREAS, construction permit fees have not been increased since 2011 with the adoption of Ordinance No. 11-2947 on June 8, 2011; and

WHEREAS, the Common Council wishes to increase certain construction code permit fees in order to offset the operating expenses of the Department of Community Services.

NOW THEREFORE BE IT ORDAINED by the Common Council of the City of Summit, County of Union, State of New Jersey, as follows:

SECTION 1. That Section 14.12 of Appendix A, Schedule of Fees, contained in the Revised General Ordinance of the City of Summit be and is hereby amended to read as follows:

## APPENDIX A

### **CONSTRUCTION PERMITS (14-1.2)**

The fee for construction permits shall be the sum of the applicable fees listed in paragraphs a. through m. hereof and shall be paid before the permit is issued, except as modified in paragraph m. for mechanical permit fees.

a. *Building Subcode Fees.* The Building Subcode fees shall be as follows:

1. For new buildings and structures and additions:

- (a) For Use Groups B, E, H, I, M, and R-1, ~~\$0.04~~ \$0.05 per cubic foot;
- (b) For Use Groups A, F, R-2, S and U. ~~\$0.03~~ \$0.04 per cubic foot;
- (c) For Use Groups R-3, R-4, and R-5 including accessory buildings and structures, ~~\$0.02~~ \$0.035 per cubic foot.

2. For alterations or renovations, fees shall be calculated on the total estimated cost (value) of the work, including labor and materials:

- (a) For a value to fifty thousand (\$50,000.00) dollars, ~~twenty (\$20.00)~~ twenty-seven (\$27.00) dollars per one thousand (\$1,000.00) dollars of estimated value;
- (b) For a value from fifty thousand one (\$50,001.00) dollars to one hundred thousand (\$100,000.00) dollars, ~~fifteen (\$15.00)~~ twenty-two (\$22.00) dollars per one thousand (\$1,000.00) dollars of estimated value;
- (c) For a value over one hundred thousand (\$100,000.00) dollars, ~~thirteen (\$13.00)~~ seventeen (\$17.00) dollars per one thousand (\$1,000.00) dollars of estimated value.

**SECTION 2. SEVERABILITY.** If any paragraph, section, subsection, sentence, sentence clause, phrase or portion of this Ordinance is for any reason held invalid or unconstitutional by any Court or administrative agency of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision of such holding shall not affect the validity of the remaining paragraphs or sections hereof.

**SECTION 3. INCONSISTENCY.** All ordinances or parts of Ordinances inconsistent with this Ordinance are hereby repealed to the extent of such inconsistency.

**SECTION 4. EFFECTIVE DATE.** This Ordinance shall take effect upon final passage and publication according to law.

(Latest additions are indicated by underline, deletions by ~~strike-through~~)

Dated:

I, Rosalia M. Licatese, City Clerk of the      Approved:

City of Summit, do hereby certify that  
the foregoing ordinance was duly passed  
by the Common Council of said City at  
a regular meeting held on

Mayor

City Clerk

Resolution (ID # 7733)  
March 16, 2021

**AUTHORIZE EMERGENCY TEMPORARY APPROPRIATIONS - MUNICIPAL OPERATING BUDGET (ROLL CALL VOTE)**

WHEREAS, emergent conditions have arisen with respect to either funds being needed for salaries and/or payments being due to various vendors, and

WHEREAS, adequate provisions were not made in the 2021 Temporary Budget, and N.J.S.A. 40A:4-20 provides for creation of emergency temporary appropriations, and

WHEREAS, the total emergency temporary resolutions adopted in the year 2021 pursuant to the provisions of N.J.S.A. 40A:4-20 (Chapter 96, P.L. 1951 as amended) including this resolution total \$457,400.00.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT (not less than two-thirds of all the members thereof affirmatively concurring):

That, in accordance with N.J.S.A. 40A:4-20:

The emergency temporary appropriations listed below will be provided for in the 2021 Budget under the titles shown and for the amounts given be and the same are hereby as follows:

	<u>Salaries</u>	<u>Operating Expenses</u>
Diesel Fuel	\$	\$ 30,000.00
Gasoline		\$ 54,000.00
Road Repair & Maintenance		\$ 15,000.00
Sanitation		\$ 35,000.00
Parks & Shade Tree		\$ 10,000.00
Dog Regulation		<u>\$ 8,000.00</u>
RRM Snow Removal	<u>\$ 125,000.00</u>	
Sub-Total	<u>\$ 125,000.00</u>	<u>\$152,000.00</u>
Municipal Debt Service-Principal		\$371,105.00
Municipal Debt Service-Interest		\$554,798.58
School Debt Service-Principal		\$900,000.00
School Debt Service-Interest		\$360,965.73

**Total      \$ 277,000.00**

FURTHER RESOLVED that two certified copies of this resolution shall be filed with the Director of Local Government Services.

Dated: March 16, 2020

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening March 16, 2021.

City Clerk



**Finance Committee**  
R - Finance

[www.cityofsummit.org](http://www.cityofsummit.org)

Meeting: 03/16/21 07:30 PM

## RESOLUTION (ID # 7733)

DOC ID: 7733 D

TO: Mayor and Common Council  
FROM: Tammie Baldwin, City Treasurer/CFO  
DATE: February 24, 2021

### SUMMARY

This resolution authorizes emergency temporary appropriations to the Current Fund Budget.

The Temporary Budget may be amended at any time up to and including January 30<sup>th</sup> and is limited to 26.25% of the prior year's budget. After that date, the limit on appropriations is removed and any appropriation which becomes necessary prior to final adoption of the budget (and which has not been included in the Temporary Budget) can be made through an Emergency Temporary Appropriation resolution. This resolution must be adopted by at least 2/3 of the full membership of the governing body.

This resolution adds \$277,000.00 to the current Temporary Municipal Operating Budget of \$11,162,778.00 bringing the total temporary operating budget to \$11,439,778.00.

Resolution (ID # 7765)  
March 16, 2021

**AUTHORIZE EMERGENCY TEMPORARY APPROPRIATIONS - SEWER UTILITY (ROLL CALL VOTE)**

WHEREAS, emergent conditions have arisen with respect to either funds being needed for salaries and/or payments being due to various vendors, and

WHEREAS, adequate provisions were not made in the 2021 Sewer Utility Temporary Budget, and N.J.S.A. 40A:4-20 provides for creation of emergency temporary appropriations, and

WHEREAS, the total emergency temporary resolutions adopted in the year 2021 pursuant to the provisions of N.J.S.A. 40A:4-20 (Chapter 96, P.L. 1951 as amended) for the Parking Utility Budget, including this resolution total \$477,000.00.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT (not less than two-thirds of all the members thereof affirmatively concurring):

That in accordance with N.J.S.A. 40A:4-20:

1. The emergency temporary appropriations listed below will be provided for in the 2021 Sewer Utility Budget under the titles shown and for the amounts given be and the same are hereby made as follows:

	<u>Salaries</u>	<u>Other Expenses</u>
Other Expenses-Joint Meeting		\$477,000.00
In the Total Amount of	<u>\$477,000.00</u>	

2. Two certified copies of this resolution be filed with the Director of Local Government Services.

Dated March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



**Finance Committee**  
R - Finance

[www.cityofsummit.org](http://www.cityofsummit.org)

Meeting: 03/16/21 07:30 PM

## **RESOLUTION (ID # 7765)**

DOC ID: 7765

TO: Mayor and Common Council  
FROM: Tammie Baldwin, City Treasurer/CFO  
DATE: March 9, 2021

### **SUMMARY**

This resolution authorizes emergency temporary appropriations to the Sewer Utility, allowing for payments due April 1, 2021 in addition to the Temporary Budget that was submitted to Council.

\$477,000 Joint Meeting – wastewater treatemnt

The Temporary Budget may be amended at any time up to and including January 30<sup>th</sup>. However, after that date any appropriation which becomes necessary prior to final adoption of the budget, and which has not been included in the Temporary Budget, must be made through an Emergency Temporary Appropriation resolution. This resolution must be adopted by at least 2/3 of the full membership of the governing body.

Resolution (ID # 7756)  
March 16, 2021

**AUTHORIZE RENEWAL OF SUMMIT CITY COOPERATIVE PRICING SYSTEM #192SCCPS**

WHEREAS, N.J.S.A. 40A:11-11(5) authorizes two or more contracting units to establish a Cooperative Pricing System and to enter into a Cooperative Pricing Agreement for its administration, and

WHEREAS, in 2011, the State of New Jersey, Department of Community Affairs, Division of Local Government Services approved the establishment of the Summit City Cooperative Pricing System #192SCCPS (System) for a five year period expiring March 28, 2016, and in 2016, approved its renewal for another five year period expiring March 28, 2021, and

WHEREAS, with the City of Summit as the Lead Agency, the System includes Chatham Borough, Chatham Township, Florham Park Township, Millburn Township and New Providence Borough as members for the procurement of services such as microsurfacing which is bid annually, and

WHEREAS, the City of Summit agrees to serve as the Lead Agency for the Summit City Cooperative Pricing System #192SCCPS and desires to renew the System with the State of New Jersey.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

**1. COOPERATIVE PRICING SYSTEM ESTABLISHED**

That it hereby authorizes the renewal of the Cooperative Pricing System known as the Summit City Cooperative Pricing System #192SCCPS with the City of Summit serving as the Lead Agency.

**2. COOPERATIVE PRICING AGREEMENT**

That the Mayor and City Clerk are hereby authorized to enter into separate Cooperative Pricing Agreements with the participating contracting units and said Agreement shall be deemed a single Agreement.

**3. COPY OF RESOLUTION TO DIVISION OF LOCAL GOVERNMENT SERVICES**

A single certified copy of this resolution shall be forwarded to the Division of Local Government Services as part of the application for the renewal of this Cooperative Pricing System.

**4. EFFECTIVE DATE**

This resolution shall take effect immediately upon passage.

Dated: March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk

## Purchasing Agent

# Memo

**To:** Mayor and Common Council  
**From:** Michelle Caputo, QPA  
**Date:** 3/2/21  
**Re:** Authorize Renewal of Summit City Cooperative Pricing System #192SCCPS

On April 1, 2011 the State of New Jersey, Department of Community Affairs, Division of Local Government Services (DLGS) approved the establishment of the Summit City Cooperative Pricing System-192SCCPS (System). The system permits the City of Summit to serve as the Lead Agency and to enter into cooperative pricing agreements with other contracting units.

The System was established in an effort to obtain better pricing and purchase power for services typically bid and contracted annually by surrounding communities. In the past five (5) years, the City of Summit as the Lead Agency, and participating members, Chatham Borough, Chatham Township, Florham Park Township, Millburn Township, and New Providence Borough, have coordinated the procurement of services such as the annual microsurfacing program through the System. The coordinated effort has proven to be successful through annual cost savings to participating members of the project.

The approval of a cooperative pricing system is for period not to exceed five (5) years. The most recent renewal is set to expire March 28, 2021. It is required that the Lead Agency, City of Summit, requests the renewal of Summit City Cooperative Pricing System #192SCCPS. There is no cost associated with the renewal.

A resolution is requested authorizing the renewal of the Summit City Cooperative Pricing System #192SCCPS, to include the current member agencies and commodities listed in the attached completed CP-2011 form.

Thank you.

**REQUEST FOR REGISTRATION OR MODIFICATION OF A COOPERATIVE PRICING SYSTEM,  
PURCHASING SYSTEM OR REGIONAL COOPERATIVE PURCHASING SYSTEM**

11.A.3.b

**(COOPERATIVE PURCHASING FORM CP-2001)**

**Return completed Form with all documentation to:**  
**Cooperative Purchasing**  
**Division of Local Government Services**  
**PO Box 803**  
**Trenton NJ 08625-0803**  
**Attn: Co-op**

**CONDITION**

*To the extent that bids may have been received or a contract may have been awarded by an unregistered Cooperative Purchasing System without it first having obtained the requisite approval from the Division pursuant to N.J.A.C. 5:34-7.1 et seq., the Division is not in a position to address or resolve any legal questions which may exist as a result of such circumstances.*

**SYSTEM TYPE**

<input checked="" type="checkbox"/> Cooperative Pricing System	<input type="checkbox"/> Joint Purchasing System	<input type="checkbox"/> Regional Cooperative Pricing System
--	--	--

**SYSTEM IDENTIFICATION**

**System Name:**

**Identifier**

<input type="checkbox"/> System Registration	<input type="checkbox"/> Add/Delete Member(s)	<input type="checkbox"/> Renew Registration	<input type="checkbox"/> Other (Check Below)
<input type="checkbox"/> Lead Agency Resolution <input type="checkbox"/> Member Resolution(s) <input type="checkbox"/> Agreement(s)	<input type="checkbox"/> New Member Resolution(s) <input type="checkbox"/> Lead / Member Agreement(s)	<input checked="" type="checkbox"/> Lead Agency Resolution <input checked="" type="checkbox"/> List of Current Members (Submit new members on separate CP-2001)	<input type="checkbox"/> Change Lead Agency <input type="checkbox"/> Add/Delete Commodity <input type="checkbox"/> Change Address <input type="checkbox"/> Other (List Below)

**DETAILS** (Identify changes in: membership, commodities purchased or other information as appropriate)

Members: no changes	Commodities: no changes
<ul style="list-style-type: none"> <li>• Chatham Borough</li> <li>• Chatham Township</li> <li>• Florham Park Borough</li> <li>• Millburn Township</li> <li>• New Providence Borough</li> </ul>	<ul style="list-style-type: none"> <li>• Thermoplastic striping</li> <li>• Microsurfacing</li> <li>• Professional cleaning services</li> <li>• Professional landscape maintenance services</li> </ul>

This is to certify that the requirements of *N.J.S.A. 40A:11-1 et seq.* or *N.J.S.A. 18A:18A-1 et seq.*, as appropriate, and *N.J.A.C. 5:34-7.1 et seq.* are understood and the System is in compliance with them.

<b>Signature:</b>	<i>Michelle Caputo</i>	<b>E-mail Address:</b>	mcaputo@cityofsummit.org
<b>Name:</b>	Michelle Caputo	<b>Phone:</b>	908-277-9423
<b>Title:</b>	QPA	<b>Date:</b>	March 16, 2021

**Official Use:**

<b>Approved:</b>	<b>Materials Complete:</b>	<b>Effective Date:</b>	<b>System Expiration:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Disapproved:</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Resolution (ID # 7735)  
March 16, 2021

**AUTHORIZE SUBMISSION OF GRANT APPLICATION UNION COUNTY 2021  
INFRASTRUCTURE AND MUNICIPAL AID AND EXECUTION OF GRANT AGREEMENT -  
CITY HALL RECORDS MANAGEMENT IMPROVEMENT PROJECT**

WHEREAS, the Union County Infrastructure and Municipal Aid Grant Program provides matching grants to municipal governments in Union County for assistance in stimulating the development of public projects of economic, social, transportation, and governmental importance to local municipalities, and

WHEREAS, the City Clerk's Office has identified a need to improve the management of public records currently stored in the City Hall basement.

NOW, THEREFORE BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

That the appropriate City officials are hereby authorized to submit a 2021 Union County Infrastructure and Municipal Aid grant application to the Union County Board of County Commissioners to provide funding assistance for the City Hall Records Management Improvement Project, with an estimated total project cost of \$12,000.00, and

BE IT FURTHER RESOLVED, that the City of Summit is committed to providing a dollar-for-dollar cash match for the project in the amount of \$6,000.00, and

BE IT FURTHER RESOLVED, that the Mayor and City Clerk are hereby authorized to sign the grant agreement on behalf of the City of Summit and that their signature constitutes acceptance of the terms and conditions of the grant agreement and approves the execution of the grant agreement.

Dated: March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



## RESOLUTION (ID # 7735)

DOC ID: 7735

TO: Mayor and Common Council

FROM: Rosemary Licatese, City Clerk

DATE: February 24, 2021

### 2021 Union County Infrastructure and Municipal Aid Grant Program

The Union County Board of County Commissioners is offering its Union County Infrastructure and Municipal Aid grant program again this year. A total of \$1,500,000.00 will be made available to the County's 21 municipalities. This grant has a goal of providing assistance that will stimulate the development of public projects of economic, social, transportation, and governmental importance to local municipalities.

The Infrastructure and Municipal Aid grant will assist municipalities with projects undertaken in the 2021 calendar year. Some examples of projects eligible for this grant are: downtown development projects; economic development plans; large- and small-scale construction projects; engineering and architectural plans; general financing of construction projects/bond insurance; community enhancement projects; master plans, feasibility studies, and transportation plans; and road work. A separate application must be submitted for each project. If submitting multiple projects for consideration, applicants must rank them in priority order. Projects must be current initiatives, and all funding awarded must be incurred and expended by December 31, 2021. This grant has a 1:1 matching requirement (cash or in-kind).

The Summit Clerk's Office is applying for a 2021 Union County Infrastructure and Municipal Aid Grant to improve the accessibility and storage of the City's vital records. The project will primarily entail the digitization and scanning of significant records including planning and zoning board agendas, meeting minutes, and resolutions. The proposed project will greatly improve the efficiency of document retrieval and the management of Open Public Record Act (OPRA) requests, saving staff time and protecting essential records that document the City's administrative efforts. The estimated total cost of the project is approximately \$12,000.00.

2021

# Infrastructure and Municipal Aid Grant Application



A Service of the Union County  
Board of County Commissioners

Alexander Mirabella, Chairman  
Rebecca L. Williams, Vice Chair

Angela R. Garretson  
Sergio Granados  
Christopher Hudak  
Bette Jane Kowalski  
Lourdes M. Leon  
Kimberly Palmieri-Mouded  
Andrea Staten

February 22, 2021  
Phone (908) 527-4087

## Program Objective

As a result of the overwhelming success of the 2015 through 2020 Union County Infrastructure and Municipal Aid grant program, the Union County Board of County Commissioners has decided to offer it again this year. A total of \$1,500,000.00 will be made available to the County's twenty-one municipalities. This grant is made possible through proceeds of the sale of Runnels Hospital.

This grant program has a goal of providing assistance that will stimulate the development of public projects of economic, social, transportation and governmental importance to local municipalities.

The Infrastructure and Municipal Aid grant is a matching grant. It will assist municipalities with projects being undertaken in the 2021 calendar year.

Some examples of projects eligible for this grant are:

- Downtown Development Projects
- Economic Development Plans
- Large and Small Scale Construction Projects
- Engineering and Architectural Plans
- General Financing of Construction Projects/Bond Insurance
- Community Enhancement Projects
- Master Plans/Feasibility Studies/Transportation Plans
- Road Work, including pothole repair and structural enhancements

## Program Timelines and Grant Information

1. Each of the twenty-one municipalities may apply for one or more projects.
2. Projects must be current initiatives, and all funding awarded must be incurred and expended by **December 31, 2021**.
3. A separate application must be submitted for multiple projects. Multiple projects should be ranked in priority order.
4. The application period will be limited to 30 days, commencing on **February 22, 2021** and concluding on **March 23, 2021**.
5. The review and selection period will follow, and award notification will occur within 30 days of the submission deadline. Grant projects accepted will receive a written grant commitment in the form of a letter from the Union County Board of County Commissioners. A formal Grant Agreement between the County of Union and the Municipality will follow.
6. Projects will be chosen based on need, scope, population served and readiness to proceed.
7. Funds awarded through this grant must be matched dollar for dollar by the municipality. All matching funds must be specifically related to the proposed project. It is critical to note that all matching funds must be incurred and expended in **Calendar Year 2021**.
8. Matching dollars may come from various sources, such as in-kind services, municipal budget, donor, State of New Jersey or other federal and state aid. These sources must be listed on the original grant application to qualify as matching funds.
9. Matching dollars may not come from any other county source of funding.
10. Grantees must adhere to the proposed project timelines. The grant period commences when the Union County Office of County Counsel executes the contracts.
11. All grant applications will be reviewed by the County Commissioners Fiscal Standing Committee, and are subject to final approval by the County Commissioners Fiscal Standing Committee in addition to a vote by the full body of the Union County Board of County Commissioners.
12. The funding request cannot exceed 50% of the total project cost, and cannot be used for staff or municipal salaries.

## Certification of Matching Funds

I, Tammie Baldwin, the Chief Financial Officer for City of Summit (Municipality) certify available matching funds in the amount of \$ 6,000.00 in compliance with the 2021 Union County Infrastructure and Municipal Aid Grant Program.

Signature

Date

## Chief Financial Officer's Information:

Full Name: Tammie Baldwin

Phone Number: 908-277-9422

E-Mail Address: tbaldwin@cityofsummit.org

## Certification of Application

I, Michael Rogers (Mayor or Business Administrator only) hereby certify that the information provided within this application form is complete and true to the best of my knowledge.

Signature

Date

**Mayor or Business Administrator Information:**

Full Name:	Michael Rogers, Business Administrator
Phone Number:	908-522-3600
E-mail Address:	mrogers@cityofsummit.org

**Matching Fund Details:**

Please provide details of all sources of matching funds along with corresponding municipality account numbers.

Please see the attached Matching Fund Details.

## 2021 Infrastructure and Municipal Aid Grant Application

Municipality:	City of Summit	
Mailing Address:	512 Springfield Avenue, Summit, NJ 07901	
Name of Project:	City Hall Records Management Improvement Project	
Project Contact Person:	Rosemary Licatese	
Project Contact's Phone Number:	908-277-9415	
Project Contact's Fax Number:	908-273-2977	
Project Contact's E-mail Address:	rlicatese@cityofsummit.org	
Federal Identification Number:	226002329	
Fiscal/Calendar Year:	December 2021	
Finance Officer's Full Name:	Tammie Baldwin	
Finance Officer's Contact Information:	tbaldwin@cityofsummit.org	

As a representative of **the City of Summit** (Municipality),  
I hereby authorize the project submitted for this proposed 2021 Infrastructure and Municipal Aid grant.

Signature	Date
-----------	------

Full Name (print)	Date
-------------------	------

\$12,000.00	\$6,000.00	\$6,000.00
Total Project Cost	Requested Grant Amount:	Matching Dollar Amount

## Project Description and Summary:

Please attach additional pages as needed and include architectural and engineering plans, if appropriate.

Project Description and Summary should include the following information:

- Project name(s).
- Exact location(s) of project(s).
- Project timeline including anticipated start date and anticipated completion date.
- Specific anticipated accomplishments/outcomes.

Please note: A separate application must be submitted for multiple projects. Multiple projects must be ranked in priority order.

Please see the attached Project Description and Summary.

## Conditions of Award

1. All recipients of grant dollars will be required to post signage acknowledging the County of Union's participation, dependent upon the type of project funded. Each will be discussed prior to confirmation of Grant Agreement between the County of Union and the Municipality.
2. All recipients of grant dollars will be subject to monitoring visits by the Union County Board of County Commissioners staff.
3. All recipients of grant dollars shall be required to enter into an agreement prepared by the Union County Office of County Counsel. Said agreement shall provide that all funding provided through this grant shall be dedicated to the improvement of approved projects in said municipality.
4. Recipients will submit to the County a monthly grant work sheet which will include an update of the progress of the project(s), monthly expenditures including funding sources and account numbers, and an updated estimated completion date of the project(s).
5. Should it be determined by the County that funds granted pursuant to this agreement are not being so dedicated by the applicant, and then in that event, the County will require reimbursement of all amounts so granted. This provision applies to any present or future violations.

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### Submission:

County of Union  
Attn: Kathleen M. Addessa  
Union County Administration Building, 6th Floor  
Department of Economic Development  
10 Elizabethtown Plaza  
Elizabeth, New Jersey 07207

**Submission Date: March 23, 2021**

**Matching Fund Details:**

The City of Summit has determined that the total approximate cost of the proposed project is \$12,000.00. The City has allocated funds from its municipal budget to assist with the cost of this project and is committed to funding 50% of the total project cost, or \$6,000.00. Please see the attached resolution as confirmation of the City's approval to apply for grant funding through the Union County Infrastructure and Municipal Aid Grant Program.

Furthermore, the account information presented below verifies the source of the specified matching funds:

Municipality account number C-04-30-084-00A-030

## Project Description and Summary:

The City of Summit Clerk's Office is applying for a 2021 Union County Infrastructure and Municipal Aid Grant to support the City Hall Records Management Improvement Project (Priority #2). This project will improve the accessibility of the City's vital records, housed in the Municipal Building on 512 Springfield Avenue. These records include planning and zoning board meeting minutes, resolutions, meeting agendas, and other essential records. To support this project, Summit is respectfully requesting \$6,000.00 through the 2021 Union County Infrastructure and Municipal Aid Grant program.

The Clerk's Office has recently taken steps to alleviate hazardous storage conditions affecting the City's administrative records storage space, however many issues still persist. As evidenced in the attached photographs, many boxes are stacked on top of one another, while others are placed on or near the floor. As per the attached notification, in 2017, the Summit Fire Department determined that the storage space was not in compliance with fire code. These overcrowded storage conditions have presented a safety concern for staff who need to access the space and have prevented the efficient and effective records access and retrieval for the City Clerk's office.

In 2020, the Clerk's Office utilized funds awarded by the Union County Infrastructure and Municipal Aid Grant program to begin the process of implementing an organizational and storage system for improved records accessibility. With the assistance of an external vendor, an inventory of records was conducted, and some materials determined suitable for removal were properly destroyed. Retained records were re-housed in new, clearly labeled boxes to facilitate clear identification and retrieval. To continue these efforts to promote staff safety and ensure the long-term preservation and accessibility of records, the proposed 2021 project will involve the digitization of planning and zoning records. During the COVID-19 pandemic, City staff have often been working remotely. It has become increasingly apparent that the digitization of administrative records is essential when responding to internal inquiries as well as Open Public Record Act (OPRA) requests from the public.

The cost of the proposed digitization project will total approximately \$12,000.00. It is anticipated that the project will commence on June 1, 2021 and will take approximately six months to complete, with an anticipated project end date of November 30, 2021. The City of Summit will designate employees, particularly members of the Clerk's Office, to play an integral role in executing this project.

This project will greatly improve the efficiency of document retrieval and the management of records, saving staff time and protecting and preserving essential records that document the City's administrative efforts. This will also improve the Clerk's Office staff's ability to respond to OPRA requests in a timely fashion. As such, this project will result in a safer working environment for City Clerk staff, ensure the long-term preservation of our City's planning and zoning records, and increase productivity through improved accessibility to records. Thank you for your consideration.

Resolution (ID # 7599)  
March 16, 2021

**AUTHORIZE EXECUTION OF MEMORANDUM OF UNDERSTANDING WITH FRIENDS OF  
SUMMIT PUBLIC ART (PENDING CLOSED SESSION DISCUSSION)**

Pending Closed Session discussion.

Resolution (ID # 7736)  
March 16, 2021

**EXTEND LEAVE WITH PAY PARKING SERVICES AGENCY EMPLOYEE (PENDING  
CLOSED SESSION DISCUSSION)**

Pending Closed Session discussion.

**AWARD BID - SPRING 2021 CITYWIDE TREE PLANTING - \$52,025.00**

WHEREAS, six bids were received by the Purchasing Agent for Spring 2021 Citywide Tree Planting on February 23, 2021, and

WHEREAS, the low bidder must be rejected pursuant to N.J.S.A. 40A:11-22 for failure to provide the required Consent of Surety.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

1. That, of the bids received by the Purchasing Agent on Tuesday, February 23, 2021, the low bidder is rejected pursuant to N.J.S.A. 40A:11-22 for failure to provide the required Consent of Surety.
2. That, in accordance with the Assistant City Treasurer's certification of availability of funds in Account No. 1-01-28-375-000-226, a copy of which is hereto attached and made a part of this resolution, and as recommended in memo from the City Engineer/Deputy DCS Director, bids received by the Purchasing Agent on Tuesday, February 23, 2021, shall be awarded to the lowest responsive, responsible bidder as follows:

**SPRING 2021 CITYWIDE TREE PLANTING**

SJC Lawncare Inc.  
305 Elizabeth Avenue  
Cranford NJ 07016

Base Bid \$48,900.00  
Alt A - Watering \$3,125.00  
Total \$52,025.00

Dated: March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



## **RESOLUTION (ID # 7609)**

DOC ID: 7609 C

**TO:** Mayor and Common Council

**FROM:** Aaron Schrager, City Engineer/ Acting DCS Director

**DATE:** February 22, 2021

### **SUMMARY**

Six bids were received and opened on Tuesday, February 23, 2021 at 11:00 am at City Hall for the Spring 2021 Citywide Tree Planting. The submitted low bidder was Plant Detectives Nursery & Garden Center in the amount of \$25,585.00. Their bid was rejected per NJSA 40A:11-22. The second lowest bidder was SJC Lawncare Inc. in the amount of \$52,025.00, inclusive of the base bid and the alternate bid.

The work includes the installation and watering of 125 trees within the public right-of-way throughout the City. In addition to several exceptional references, SJC Lawncare recently completed the fall planting last year for the City and worked with the City Forester and the City's Division of Public Works.

The bid is below the estimate and funding is available from the following account:

1-01-28-375-000-226	–	\$52,025.00	–	Tree	Planting
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The City will also receive \$10,000 from the 2020 Union County grant for the 2021 planting. Once reimbursement has been received, it will be utilized to replenish existing accounts established.

Based on the above, I recommend awarding a contract to SJC Lawncare Inc. in the amount of \$52,025.00 for the Spring 2021 Citywide Tree Planting.

## 2021 Spring Citywide Tree Planting Project

## BID SUMMARY

Preliminary - subject to attorney review

## BASE BID

ITEM	DESCRIPTION	Unit	Qty.	Plant Detectives Nursery & Garden Ctr.		SJC Lawncare Inc.		Louis Barbato Landscaping Inc.		FairCut Services, LLC.		JR Cruz		Sunset Creations	
				Unit Price	Cost	Unit Price	Cost	Unit Price	Cost	Unit Price	Cost	Unit Price	Cost	Unit Price	Cost
1	Carpinus caroliniana - American Hornbeam	2-2 1/2" Tree	15	\$ 195.00	\$ 2,925.00	\$ 399.00	\$ 5,985.00	\$ 357.00	\$ 5,355.00	\$ 448.00	\$ 6,720.00	\$ 542.00	\$ 8,130.00	\$ 550.00	\$ 8,250.00
2	Cladrastis kentukea - Yellowwood	2-2 1/2" Tree	15	\$ 225.00	\$ 3,375.00	\$ 369.00	\$ 5,535.00	\$ 357.00	\$ 5,355.00	\$ 448.00	\$ 6,720.00	\$ 542.00	\$ 8,130.00	\$ 550.00	\$ 8,250.00
3	Prunus serrulata 'kwanzan' - Kwanzan Cherry	2-2 1/2" Tree	15	\$ 179.00	\$ 2,685.00	\$ 344.00	\$ 5,160.00	\$ 327.00	\$ 4,905.00	\$ 448.00	\$ 6,720.00	\$ 542.00	\$ 8,130.00	\$ 550.00	\$ 8,250.00
4	Prunus serrulata 'Amanogawa' - Amanogawa Cherry	2-2 1/2" Tree	15	\$ 225.00	\$ 3,375.00	\$ 399.00	\$ 5,985.00	\$ 327.00	\$ 4,905.00	\$ 448.00	\$ 6,720.00	\$ 542.00	\$ 8,130.00	\$ 550.00	\$ 8,250.00
5	Styrax japonicus - Japanese Snowbell	2-2 1/2" Tree	15	\$ 215.00	\$ 3,225.00	\$ 399.00	\$ 5,985.00	\$ 497.00	\$ 7,455.00	\$ 448.00	\$ 6,720.00	\$ 542.00	\$ 8,130.00	\$ 550.00	\$ 8,250.00
6	Amelanchier x grandiflora - Shadblow	2-2 1/2" Tree	15	\$ 205.00	\$ 3,075.00	\$ 399.00	\$ 5,985.00	\$ 357.00	\$ 5,355.00	\$ 448.00	\$ 6,720.00	\$ 542.00	\$ 8,130.00	\$ 550.00	\$ 8,250.00
7	Cornus aurora 'rutban' - White Dogwood	2-2 1/2" Tree	15	\$ 195.00	\$ 2,925.00	\$ 409.00	\$ 6,135.00	\$ 357.00	\$ 5,355.00	\$ 448.00	\$ 6,720.00	\$ 542.00	\$ 8,130.00	\$ 550.00	\$ 8,250.00
8	Cornus stellar pink 'rutban' - Pink Dogwood	2-2 1/2" Tree	15	\$ 195.00	\$ 2,925.00	\$ 409.00	\$ 6,135.00	\$ 357.00	\$ 5,355.00	\$ 448.00	\$ 6,720.00	\$ 542.00	\$ 8,130.00	\$ 550.00	\$ 8,250.00
9	Nyssa sylvatica - Black Gum	2-2 1/2" Tree	5	\$ 215.00	\$ 1,075.00	\$ 399.00	\$ 1,995.00	\$ 497.00	\$ 2,485.00	\$ 448.00	\$ 2,240.00	\$ 542.00	\$ 2,710.00	\$ 550.00	\$ 2,750.00
				<b>SUBTOTAL</b>	<b>\$ 25,585.00</b>	<b>SUBTOTAL</b>	<b>\$ 48,900.00</b>	<b>SUBTOTAL</b>	<b>\$ 46,525.00</b>	<b>SUBTOTAL</b>	<b>\$ 56,000.00</b>	<b>SUBTOTAL</b>	<b>\$ 67,750.00</b>	<b>SUBTOTAL</b>	<b>\$ 68,750.00</b>

## ALTERNATE A "WATERING"

ITEM	DESCRIPTION	Unit	Qty.	Unit Price		Cost		Unit Price		Cost		Unit Price		Cost	
				Unit Price	Cost										
1A	Watering Trees at Various Locations	Tree	125	\$ -	\$ -	\$ 25.00	\$ 3,125.00	\$ 80.00	\$ 10,000.00	\$ 176.00	\$ 22,000.00	\$ 95.00	\$ 11,875.00	\$ 96.00	\$ 12,000.00
				<b>SUBTOTAL</b>	<b>\$ -</b>	<b>SUBTOTAL</b>	<b>\$ 3,125.00</b>	<b>SUBTOTAL</b>	<b>\$ 10,000.00</b>	<b>SUBTOTAL</b>	<b>\$ 22,000.00</b>	<b>SUBTOTAL</b>	<b>\$ 11,875.00</b>	<b>SUBTOTAL</b>	<b>\$ 12,000.00</b>
	ALT A: ADD ITEMS 1A			<b>TOTAL</b>	<b>\$ 25,585.00</b>	<b>TOTAL</b>	<b>\$ 52,025.00</b>	<b>TOTAL</b>	<b>\$ 56,525.00</b>	<b>TOTAL</b>	<b>\$ 78,000.00</b>	<b>TOTAL</b>	<b>\$ 79,625.00</b>	<b>TOTAL</b>	<b>\$ 80,750.00</b>
				<b>ALL TOTAL</b>	<b>\$ 25,585.00</b>	<b>ALL TOTAL</b>	<b>\$ 52,025.00</b>	<b>ALL TOTAL</b>	<b>\$ 56,525.00</b>	<b>ALL TOTAL</b>	<b>\$ 78,000.00</b>	<b>ALL TOTAL</b>	<b>\$ 79,625.00</b>	<b>ALL TOTAL</b>	<b>\$ 80,750.00</b>

Notes:

Bid rejected - NJSA 40A:11-22

Denotes math correction

## Certification of Availability of Funds

This is to certify to the Mayor and Common Council of the City of Summit that funds for the following resolution are available:

Resolution Date: 3/16/2021  
Resolution Doc Id: 7609

Vendor: SJC Lawncare Inc.  
305 Elizabeth Ave  
Cranford, NJ 07016

Purchase Order: Funds to be certified upon adoption of and inclusion in 2021 budget

Account Number	Amount	Account Description
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1-01-28-375-000-226	\$ 52,025.00	Parks & Shade Tree – Tree Planting
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**Contract Total    \$ 52,025.00**

Only amounts for the current Budget Year have been certified.  
Amounts for future years are contingent upon sufficient funds being appropriated.

*Tammie L. Baldwin*  
City Treasurer/CFO

Resolution (ID # 7377)  
March 16, 2021

**AUTHORIZE GSA CONTRACT PURCHASE - TRANSFER STATION COMPOST BUILDING  
SHELL REPLACEMENT - \$269,078.00**

WHEREAS, pursuant to N.J.S.A. 40A:11-12(b), the City of Summit may purchase from the Federal Supply Schedules of the General Services Administration (GSA) without advertising for bids, and

WHEREAS, BlueScope Construction, Inc. has provided a proposal for the Transfer Station Compost Building Shell Replacement under GSA contract #GS-07F-093GA in the amount of \$269,078.00, and

WHEREAS, the City Engineer/Acting DCS Director recommends awarding this contract, and

WHEREAS, the cost of the Transfer Station Compost Building Shell Replacement is \$269,078.00 and funds have been certified by the City Treasurer in account # C-04-31-091-00A-590, C-04-32-013-00A-680, and C-06-30-085-00A-010, attached hereto, and

WHEREAS, N.J.A.C. 5:34-9.7, Use of the General Services Administration's Federal Supply Schedules, requires submission of documentation to the Director of the Division of Purchase and Property within five working days of the award of any such contract.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

1. That, in accordance with the City Treasurer's certification of the availability of funds in Account #C-04-31-091-00A-590, C-04-32-013-00A-680, and C-06-30-085-00A-010, a copy of which is attached hereto and made a part of this resolution, and pursuant to GSA contract #GS-07F-093GA, through BlueScope Construction, Inc., 1540 Genessee Street, Kansas City, MO 64102, purchase of the Transfer Station Compost Building Shell Replacement, at a total cost of \$269,078.00, be and is hereby authorized.
2. That BlueScope Construction, Inc. shall comply any and all applicable Federal, State and local laws, regulations and requirements, including but not limited to: N.J.S.A. 34:11-56.25 et seq. (Prevailing Wage Act); N.J.S.A. 10:5-31 et seq. and N.J.A.C. 17:27 (Affirmative Action); and the City's adopted minimum standard insurance requirements.
3. That a copy of the required documents be filed with the Director of the Division of Purchase and Property within five working days of the award of this contract pursuant to N.J.A.C. 5:34-9.7.

Dated: March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing

resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



## **RESOLUTION (ID # 7377)**

DOC ID: 7377 A

TO: Mayor and Common Council

FROM: Aaron Schrager, City Engineer/ Acting DCS Director

DATE: September 15, 2020

### **SUMMARY**

The shell of the Compost Building at the Transfer Station is in dire need of replacement. The work needed includes the full replacement of the entire building shell (roof and siding), insulation, trim, and gutter installation. The current building has minimal insulation and numerous penetration for air and water intrusion. This key building provides the office and locker area for the DPW staff assigned to the Transfer Station and is utilized to store several key pieces of equipment from both the DPW and Sewer Utility.

The Department was able to obtain a quote from a GSA contract provided by Blue Scope Construction. Blue Scope comes with highly favorable recommendations and have completed numerous projects in New Jersey. At this time I am requesting that the City execute a contract with Blue Scope in the amount of \$269,078.00 for this project. Funding can be certified against the following capital accounts:

C-04-31-091-00A-590	\$100,000.00	2019 TS - Shell Replacement
C-04-32-013-00A-680	\$125,000.00	2020 TS - Shell Replacement
C-06-30-085-00A-010	\$44,078.00	2015 Sanitary Sewer



6 October 2020

Aaron J. Schrager  
City of Summit  
512 Springfield Ave  
Summit, NJ 07901

BlueScope Construction, Inc.  
1540 Genesee Street  
Kansas City, MO 64102  
P. O. Box 419917  
Kansas City, MO 64141  
Telephone (816) 245-6000  
Facsimile (816) 245-6099  
[www.bluescopeconstruction.com](http://www.bluescopeconstruction.com)

Re: DPW Maintenance Building Re-roof (**REVISION 3**)  
Summit, New Jersey

Dear Aaron,

BlueScope Construction (BSC) is pleased to present our proposal for the above referenced project. Our history of service includes the successful completion of over 1,000 projects without termination, litigation or liquidated damages. We hope this type of service history will be part of the evaluation of each competitive offer as you review "best value" for this project. We look forward to offering our service to your agency for this new facility.

By purchasing this facility through the GSA contract, you can buy the building and construction services without going through the traditional bid process, saving you time and money. Additionally, the design-build process is collaborative and ensures you get the facility you desire at the price you have funded. Under this offering, we provide a firm fixed price so you can avoid the high cost of multiple change orders. You'll still get the local execution on the project you desire along with factory-direct pricing on the building shell. You'll find this method is much easier than typical procurement methods and helps you avoid the pitfalls of the low bid process.

As General Contractor, BlueScope Construction is teaming with Art Hance of Hance Construction, Inc., our local BlueScope Buildings' Local Builder, with the role of Prime Subcontractor. As the prime subcontractor, our builder will be responsible for coordinating on-site trades. This is our typical project approach, utilizing specialists known and trusted to perform at a high level of quality and service. We believe this approach will be the best value: national experience and oversight from BlueScope Construction and local presence and small business participation from Art and his team.

We believe our proposal is the best value based on the following:

- BlueScope Construction is the **preeminent supplier** of pre-engineered buildings (PEB) with multiple North American manufacturing plants. BlueScope Buildings a member of the Metal Building Manufacturers Association, Design-Build Institute, and US Green Building Council.
- BlueScope Building PEB brands, including Butler Buildings, are the **world's most popular brands** with more total in-place square footage than any other manufacturer.
- As part of BlueScope Buildings, BlueScope Construction offers **factory-direct pricing** on the PEB at most favored customer pricing.
- The Butler-Cote™ standard finishing system on metal panels has a 25-year warranty guaranteeing **resistance to chalking and fading** of the paint. This includes blistering, peeling, cracks or chipping.
- The MR-24® metal roof system is the most specified standing seam metal roof in the industry and has an available **20-year weather tightness warranty**.
- BlueScope Construction is a **national contractor with** a direct connection to a local general contractor network giving you a **local presence and small business participation** on your project.

- Our **experienced team** has built over 1,000 government projects.
- We offer **unparalleled customer service** with more than 85% of our business each year from repeat customers.
- BlueScope Construction and BlueScope Buildings have **outstanding quality control** and the capability to build to the highest levels of construction performance.

For these and many other reasons noted throughout this proposal, we believe you will receive the best value building by utilizing BlueScope Construction. Attached are the following documents to complete our proposal.

Attachment A – Scope of Work  
Attachment B – Schedule of Values  
Attachment C - Plan Pages A-1, A-2 and A-3  
Attachment D – Project Schedule

Please note that this offer is based on a design-build solution and the Scope of Work defines the intent of our proposed offer to furnish and install this Project for the price listed on the Schedule of Values document as per our Sourcewell purchasing cooperative contract vehicle.

Thank you for your interest in our BlueScope Construction team and our GSA contract for your facility needs

BlueScope Construction's GSA Contract number is GS-07F-093GA.

We welcome any questions or comments you may have regarding this proposal. Please contact Tim at the number stated below.

Regards,



Tim Mitchum  
Senior Project Manager  
Phone: 816.245.6869  
Mobile: 816.591.9538  
[tlmitchum@bluescopeconstruction.com](mailto:tlmitchum@bluescopeconstruction.com)



Brian Aldrich  
Director, Government Services  
Phone: 816.245.6886  
Fax: 816.245.6899  
[bnaldrich@bluescopeconstruction.com](mailto:bnaldrich@bluescopeconstruction.com)

# ATTACHMENT A

## SCOPE OF WORK

### BUTLER BUILDING MATERIALS

#### Division 13 - SPECIAL CONSTRUCTION



#### Building Structural System

##### **General**

The Building Structural System furnished by **Butler Manufacturing / BlueScope Construction** shall be as follows:

##### Building Description:

MR-24 24 Standing Seam Low Profile Metal Over Metal (LPMOM) re-roof system overlaying the existing through fastened metal roofs on the Summit DPW Maintenance Building

##### Architectural Drawing(s) Referenced:

Summit -Maintenance Building and Summit Transfer Building

Exterior Repairs/ Re-Skinning

Dated 01/19/18

- T-1 Title Sheet
- A-1 Maintenance Building- Typical Elevations, Roof Plan and Details
- A-2 Transfer Station Building- North & East Elevations and Roof Plan
- A-3 Transfer Station Building- South & West Elevations
- A-4 New Roof System- Clip Details
- A-5 New Roof System- Panel Details
- A-6 General Notes & Specifications

##### Design Parameters:

- Building code: 2015 New Jersey IBC
- Roof live load: 20 psf
- Snow load: 20 psf
- Wind load: 115 mph, Exposure C
- Importance factor: 1.0
- Building use category: General

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Base Quote:

<u>Quantity</u>		<u>Material included in this Quote</u>
3095	Sq. ft.	Low profile metal over metal (LPMOM) panel support components
100	Lin. ft.	LPMOM eave condition
3095	Sq. ft.	MR-24 roof system: Meets FM 1-60 requirements <ul style="list-style-type: none"> <li>• 24 ga. galvalume panels</li> <li>• Extra tall wide tab panel clips fastened with scrubolts</li> <li>• Without thermal spacer blocks</li> </ul>
50	Lin. ft.	Expandable ridge (same as roof panel) <ul style="list-style-type: none"> <li>• No interior ridge pan provided</li> <li>• Builder is responsible for maintaining a positive pressure inside the roof plenum to prevent moisture from entering the roof area</li> </ul>
3	Each	Ventilator (10'-0" Coverage)
100	Lin. ft.	4 ½" gutter (26 ga. stock color)
4	Each	4" downspouts for 24' eave height (26 ga. stock color)
100	Lin. ft.	4 ½" eave closure (26 ga. stock color)
120	Lin. ft.	LPMOM retrofit gable trim (26 ga. stock color)
3248	Sq. ft.	Shadowall wall panel: <ul style="list-style-type: none"> <li>• Un-punched 24 ga. stock color panels</li> <li>• Includes all opening trims required</li> <li>• Self-drilling screws for panel to panel connection</li> <li>• Self-drilling screws for panel to structural connection</li> </ul>
3543	Sq. ft.	Two (2") inches of unfaced roof insulation
3877	Sq. ft.	Six (6") inches of un-faced wall insulation

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## MR-24® Roof System

### General

The roof shall be MR-24® roof system as furnished by Butler Manufacturing as follows:

Panels shall be factory roll-formed, 24" wide, with 2 major corrugations, 2" high (2 $\frac{3}{4}$ " including seam), 24" on center. The flat of the panel shall contain cross flutes 6" on center perpendicular to the major corrugations the entire length of the panel.

Ridge assembly shall be designed to allow roof panels to move with expansion and contraction.

Roof panels shall be factory pre-punched at panel end to match pre-punched holes in the eave structural member. Panel end splices shall be pre-punched and pre-notched.



### Panel Material and Finish

Panel material and finish shall be 24 gauge galvanized (G-90 coating), per ASTM specification A 653 (G90), and painted with exterior color of Butler-Cote® finish system, a full strength, 70% Kynar 500® or Hylar 5000® fluoropolymer (PVDF) coating. *Manufacturer shall warrant that coating shall not peel, crack or chip for 25 years.* For a period of 25 years chalking shall not exceed ASTM D4214 #8 rating and will not fade more than 5 color difference units per ASTM D2244. Interior color shall be Light Gray polyester color coat not formulated for exterior weathering.

### System Design

MR-24 roof system panel shall be designed in accordance with AISI Specifications for the Design of Light-Gauge, Cold-Formed Steel Structural Members or CAN/CSAS136 Cold-Formed Steel Structural Members – latest edition.

Panel system shall be designed to support design live load.

All endwall trim and roof transition flashings shall allow the roof panel to move relative to the wall panels as the roof expands and contracts with temperature change.

### Fasteners

Connection of MR-24 roof system panel-to-structural members, except at eave, shall be made with clips with movable stainless steel tabs that are seamed into standing seam sidelaps.

MR-24 roof system panel-to-panel connections shall be made with a positive, field-formed standing double-lock seam, formed by a special lock seaming machine. The machine field forms the final 180 degrees of a 360-degree Pittsburgh double-lock standing seam; all sidelap sealant shall be factory applied.



*The 360° double-lock standing seam on the MR-24 roof system is the same seam used on gas tanks and soda cans.*

### U. L. Uplift Ratings

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The MR-24 Roof System carries an Underwriters Laboratories (U.L.) wind uplift resistance classification of 90 to ensure structural integrity and possible reduction of insurance rates (construction numbers 62, 62A, & 178).

### Provision for Expansion/Contraction

Provision for thermal expansion movement of the MR-24 roof system panel shall be accomplished by the use of clips with a factory centered, stainless steel moveable tab. A force of no more than 8 pounds will be required to initiate tab movement. Each clip shall accommodate a minimum movement of 1.25" in either direction.



## Roof Accessories

### Gutter and Downspouts

Gutter shall be Butler contour type (4-1/2" wide x 5" deep) and shall be provided with downspouts (4" x 3") at eaves.

Gutter and downspouts shall be fabricated from 26 gauge galvanized steel, ASTM A924, G90 coating, and shall be painted in a Butler-Cote® paint finish in standard color.

### Gable Trim

Gable trim shall be Butler contour type and shall be provided at gables. Gable trim shall be fabricated from 26 gauge galvanized steel, ASTM A525, G90 coating, and shall be painted in a Butler-Cote® paint finish in a standard color.

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## Shadowwall™ Wall System

### General

Shadowwall™ wall system panels shall be as furnished by Butler Manufacturing as follows:

Panels shall be 36" wide with four major corrugations, 1-7/16" high and 12" on center with two minor corrugations between each of the major corrugations the entire length of the panel.

Wall panels shall be factory pre-punched and shall match pre-punched holes in structural.

### Panel Design

Panel design shall be in accordance with AISI Specification for the Design of Light-Gauge, Cold-Formed Steel Structural Members, or CAN/CSA-S136 Cold-Formed Steel Structural Members, and in accordance with sound engineering methods and practices.

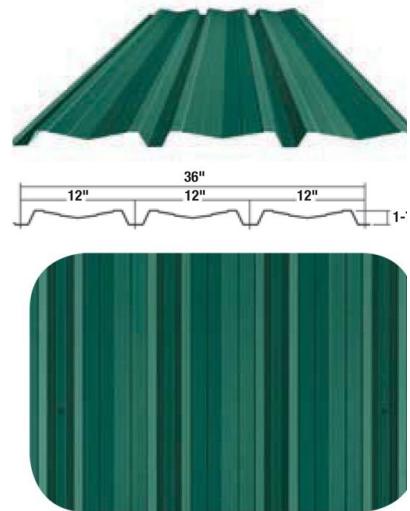
### Panel Material and Finish

Panel material and finish shall be 26 gauge painted Galvalume® aluminum-zinc alloy as per ASTM Specification A-792 with exterior colors of Butler-Cote® finish system, a full strength, 70% Kynar 500® or Hylar 5000® fluoropolymer (PVDF) coating.

*Manufacturer shall warrant that coating shall not peel, crack or chip for 25 years.* For a period of 25 years chalking shall not exceed ASTM D4214 #8 rating and will not fade more than 5 color difference units per ASTM D2244. Interior color shall be Light Gray polyester color coat not formulated for exterior weathering.

### Fasteners

Panel-to-structural connections shall be made using Scrubolt™ fasteners with Torx® heads or self-drilling screws with Torx heads. Panel-to-panel connections shall be made with self-drilling screws with Torx heads. All exposed fasteners shall be pre-painted to match wall color.



*The Shadowwall™ system is designed to require up to 33% fewer fasteners than most ribbed panels. In addition to lowering installation costs, this also results in reduced heat lost through the wall for enhanced thermal performance.*

## ANCILLARY SERVICES

Provide signed and sealed drawings for permit, (5) copies, signed and sealed by an Engineer licensed in the state of New Jersey to include the Butler details

Structural Design and Engineering will include;

### Structural Analysis

- Provide a structural analysis of the existing STAR pre-engineered building structure by a New Jersey licensed structural engineer to determine if these structures can support the increase in weight from the new re-roof system.
- Inspect and analyze the existing building structures and prepare a report with the results and recommendations for reinforcing the structures, if needed. This does not include the design and preparation of drawings for any reinforcement that may be required.
- Preparation of permit drawings for the installation of the new Butler re-roof system.
- Site Exploratory Phase
  - Measure geometry of the buildings.
  - Measure the components of the building frame system.
  - Document the condition of the building frame system.
- Analysis Phase
  - Review the as-built architectural drawings. Review the as-built structural and mechanical drawings for the buildings if available.
  - Review the technical information for the proposed Butler re-roof system
  - Develop vertical dead, live and snow loads applied to the buildings in accordance with the latest building code.
  - Evaluate the existing roof system, including roof purlins and steel structural frames for the installation of the Butler re-roof system.
  - Preparation of a written report with the results of the analysis and presenting recommendations for reinforcing structures, if needed.
- Re-roof Permit Drawing Phase
  - Review re-roof layout and details provided by Butler.
  - Prepare roof plan and details showing the re-roof installation.

### Existing Conditions

- One double sloped roof, STAR pre-engineered metal building.
- The current Maintenance Building is a STAR building. Building is clear-span 50'w x 60'L x 16'h Existing Roof 2.5":12" double-slope, through fastened corrugated roof with major corrugations at 1' o.c.. Roof has two 60' outboard gutters with two downspouts to grade at each gutter. There are (2) existing 10' long ridge ventilators that no longer function. In addition, there is (1) 8" flue pipe penetrating the roof and (1) 4" vent pipe. Walls are through fastened PBR panels, 3' wide with major corrugations at 1" o.c..
- Many of the wall panels are damaged and/or rusted.
- The wall insulation is badly torn and missing in many areas.

## INSTALLATION AND SITE PREPARATION

### Division 1 - GENERAL REQUIREMENTS

#### General Conditions

Project management – provided by BlueScope Construction, your single contact resource  
 Site supervision – provided by local Butler Builder®  
 Site maintenance during construction by local trades  
 Site Safety Program supervised by local Butler Builder  
 Temporary utilities: water, electricity and sanitary facilities as required  
 Final clean up – all work to be “broom clean” unless noted otherwise  
 Performance and Payment Bond  
 All applicable taxes- No taxes included – assumes Tax Exempt Certificate to be provided at order entry  
 Insurance – General Liability, Worker’s Compensation and Automobile  
 Performance and Payment Bonds

### Division 13 – INSTALLATION OF BUTLER BUILDING & SPECIAL CONSTRUCTION

Installation of Butler Building Materials, Summarized Above

Work to include all labor, tools and equipment to perform the following work;

#### Demolition:

##### Maintenance Building

###### Roof

- Remove and dispose (2) existing 10' ridge ventilators for recycling by Owner.
- Remove and dispose (2) roof pipe flashings in a container provided by Owner.
- Remove and dispose of 120' of existing outboard gutter and (4) downspouts for recycling by Owner.
- Cut back existing metal roof panel to be flush with existing eave strut.

###### Walls

- Remove all the existing R panel siding and metal trims and locate them at convenient area for Owner recycling.
- Remove existing wall insulation and dispose of in a container provided by Owner for disposal.

NOTE: It has been agreed with the Owner’s representative that any electrical, plumbing, HVAC or other attachment to the buildings with interference with demolition or new construction would be removed by Owner with coordination of builder.

#### Construction:

##### Maintenance Building

###### Roof

- Install a Butler MR-24 Standing Seam Low Profile Metal Over Metal (LPMOM) re-roof system with 2" of fiberglass unfaced insulation, overlaying the existing through fastened metal roof, approximately 3,095 SF. Roof panel finish to be ALZN.
- Install new silicone pipe flashing for (1) 8" flue pipe.
- Install new EPDM pipe flashing for (1) 4" vent pipe.

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- Install 120' of Butler standard contour gutter and (4) 3"x4" downspouts to grade in manufacturers standard colors.
- Install Butler standard gable (104') and eave trims (120') in manufacturers standard colors.

#### Walls

- Install 6" faced fiberglass metal building insulation, approximately 3,562 SF.
- Install Butler Shadowwall panels, approximately 3,248 SF.
- Install new Butler trims at base, existing windows and doors.

#### Windows:

- Provide labor only to remove existing (8) aluminum framed sliding windows and replace with new Butler aluminum framed, insulated sliding windows (6) 6030 and (1) 3030. Leave windows onsite for owner recycling/disposal

#### Overhead Door Openings:

- Provide labor only to remove the rusted out jambs from the (4) existing overhead door locations. Create new 18'x12' overhead door opening from the (2) existing 10'x10' openings with new jamb channels and header channel. Install new jambs for the existing 18'x12' and 12'x12' openings. Leave removed steel items for owner recycling

#### Sectional Doors:

##### Labor only:

- To remove (1) 12'0 X 12'0, (2) 10'0 X 12'0 and (1) 18'0 X 12'0 existing sectional doors, leave onsite for owner to recycle/dispose

##### Provide and install:

- (2) new 18'0 X12'0 Insulated Sectional Doors
- (1) new 12'0 X 12'0 Insulated Sectional Door
- Full Perimeter Weatherseals
- 1-13/16" CFC-Free Polyurethane Insulation 'R' Value of 10.29
- HAAS Door Model CHT3285
- Solid no Windows
- Factory White Exterior Finish
- Full 3" Angle Mounted Track High Lifted to Underside of Ceiling
- Torsion Spring Counterbalanced on Solid & Keyed Shafts

##### Furnish & install (3) Liftmaster Logic 5 Commercial Operators Includes:

- Wall mount operators with spreader bars
- Drive Chain and Sprockets from door shaft to motor operators
- Security 2.0 Technology
- Floor level chain hoist with electrical interlock for emergency manual door operation
- High starting torque continuous-duty motors with overload protection
- Includes solenoid brake
- Fully adjustable linear-driven limit mechanism
- Motor removable without affecting limit settings
- NEMA 1 Type electrical enclosure
- Standard NEMA 1 open/close/stop control station
- NEMA 1 safety reversing photo eyes per UL325 code
- Set of steel photo eye guards, mounting to existing concrete floor

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ALL ELECTRICAL WORK, CONTROL WIRING, MOUNTING OF CONTROLS BY OTHERS

## QUALIFICATIONS AND EXCLUSIONS

### Qualifications

A Standard Butler Color will be specified

This project is New Jersey sales tax exempt, none included. Owner shall provide contractor with the appropriate sales tax-exempt form for the project.

Owner will provide;

- Clear access for a minimum of 30' around the entire perimeter of the building through the entire erection process
- As-built drawings of the existing building including architectural, structural and mechanical system
- Cut sheets showing the weights and sizes of rooftop HVAC equipment
- Requirements for working in the building

Price is based upon New Jersey/Union County Prevailing wage and fringe rates. Owner is responsible for resolving any labor union disputes

Delivery date, 180 days upon final approved drawings/ permits

Warranty includes one (1) Year

Progress Payment Invoicing, according to Schedule of Values, submitted with no more than one invoice per month

Cost of construction permit fees, utility company fees, legal fees are not included. All permit fees shall be reimbursed by the Owner

### Clarifications:

- BSC is only providing the roof system material included in this quote. Butler is not providing nor is it responsible for the structural systems, new or existing, upon which the roof system is installed. Additionally, Butler is not responsible for meeting the required building codes related to the structural system supporting the weight of the Butler supplied materials.
- Butler structurals and roof panels are quoted per live load, snow load, wind load (speed) per the code supplied. Any loads other than the basic live, snow and wind loads have not been considered. Additional loads can include but are not limited to collateral loads, concentrated point loads, and unusual loads.
- The new roof system does not provide wind or seismic diaphragm bracing and cannot be used to resist or transfer any such loads.
- The new roof system does not provide wind or seismic diaphragm bracing and cannot be used to resist or transfer any such loads.

### Exclusions

Identification of and protection of existing utilities

Special Site Conditions, which could not be anticipated at time of bid

Any remedial work that may be necessary for support of the new roof loads imposed on the existing buildings are excluded.

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Any design, engineering or remedial structural work to the existing buildings should it become necessary is excluded.  
Removal and replacement of existing doors and windows is excluded  
Winter conditions  
Inside of building protections and clean-up to be provided by Owner.  
This work was estimated to be performed under a single mobilization of crew and equipment for both buildings. Additional mobilizations required to complete the above work will be at additional charge.  
The proposal amount indicated above is specific to the scope outlined above.  
Temporary roof and wall protection are included but not to be construed as a guaranteed water tight system.  
Access to 110-volt, 20 Amp electric within the work area is required.  
Testing, Handling or Disposal of Hazardous Materials is excluded  
Factory Mutual Design Criteria is excluded.  
Removal and replacement of any building finishes necessary to inspect the substrate.  
Removal and replacement of any building materials necessary for testing purposes  
Temporary security for the building  
All Materials and Labor not specified above

***Company Information for Order Entry Includes***

BlueScope Construction, Inc.  
GSA Contract Number: GS-07F-093GA  
Tax ID Number: 43-0949971

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## ATTACHMENT B

## SCHEDULE OF VALUES

Schedule of Values per Division, as defined above:

DIVISION	DESCRIPTION	AMOUNT
	<b>Maintenance Building</b>	
<b>Division 1</b>	Butler Building Materials	\$42,470
	General Requirements	
	General Conditions	\$8,724
<b>Division 13</b>	Performance & Payment Bond	\$1,429
	Butler Bldg Installation & Special Const	\$216,455
	<b>TOTAL =</b>	<b>\$269,078</b>

This price is based on material prices and prevailing wage labor rates as of 1 October 2020 and is good for 30 days.

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# TRANSFER STATION AND MAINTENANCE BUILDINGS

## EXTERIOR REPAIRS/ RE-SKINNING

### 25 NEW PROVIDENCE AVE.

### LOT: 2 BLOCK:1505

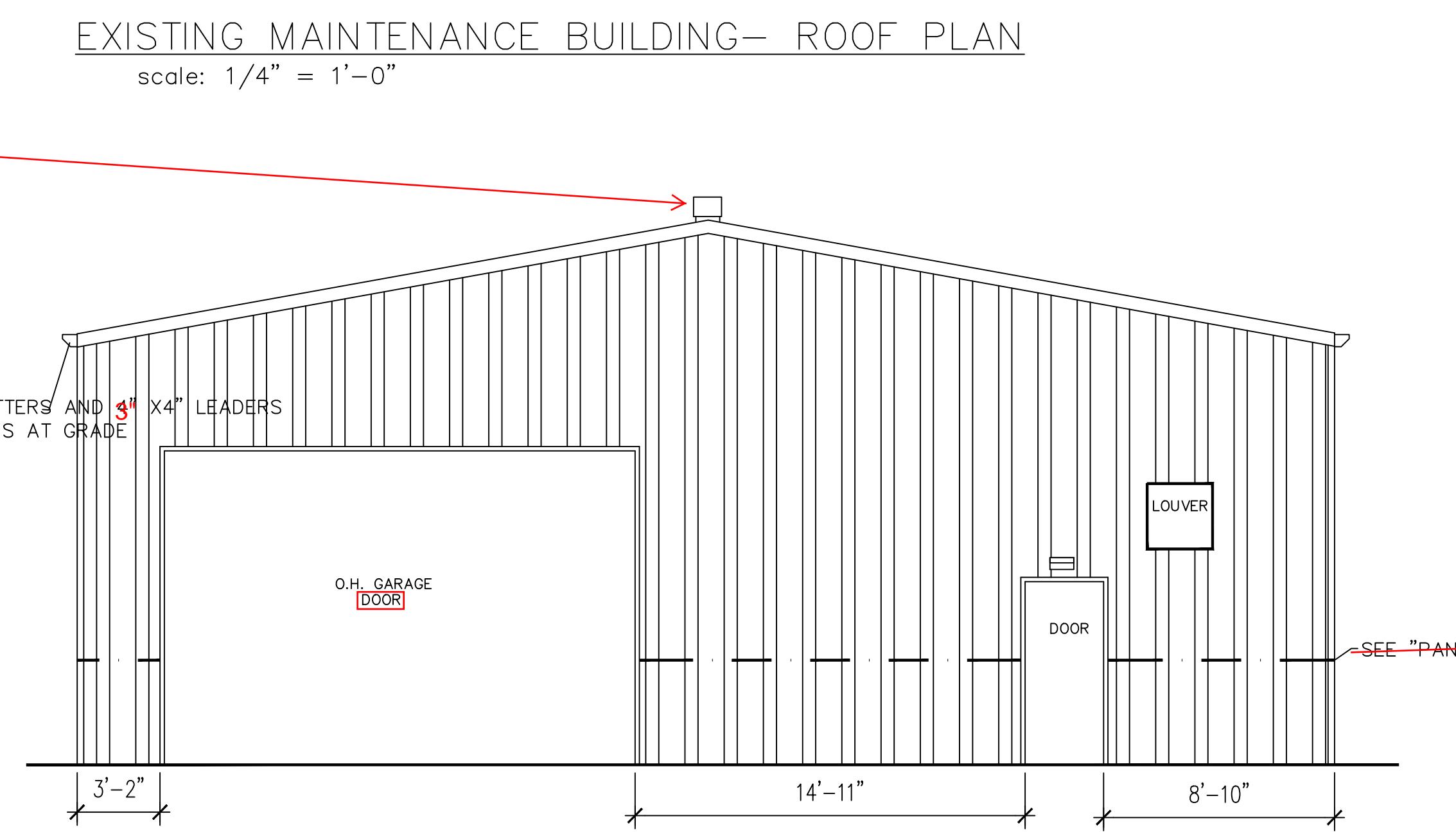
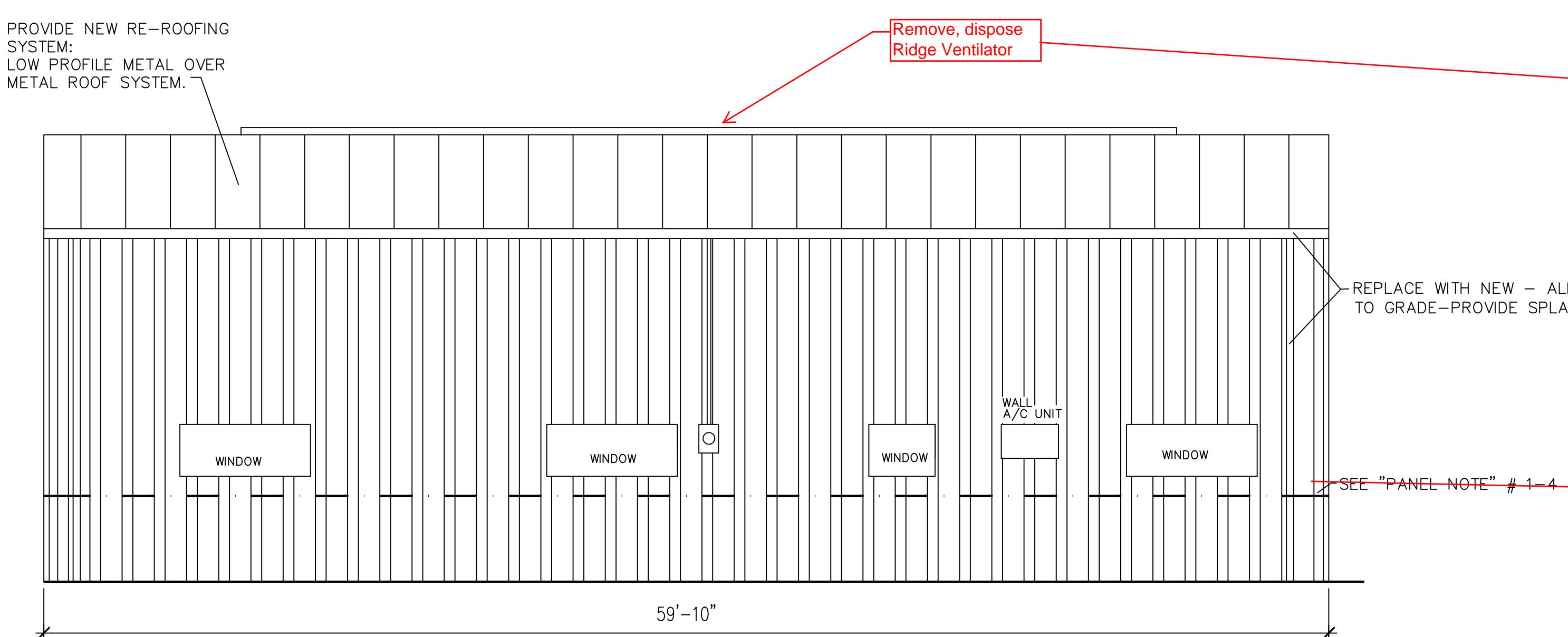
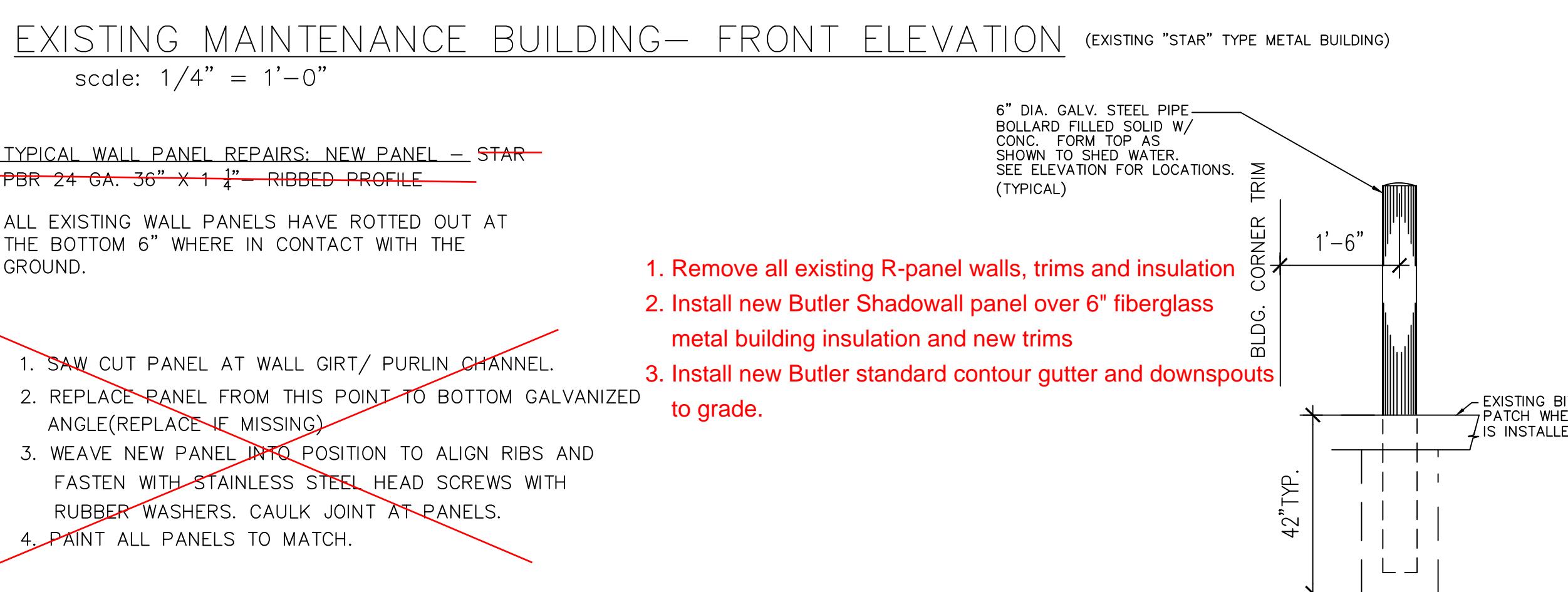
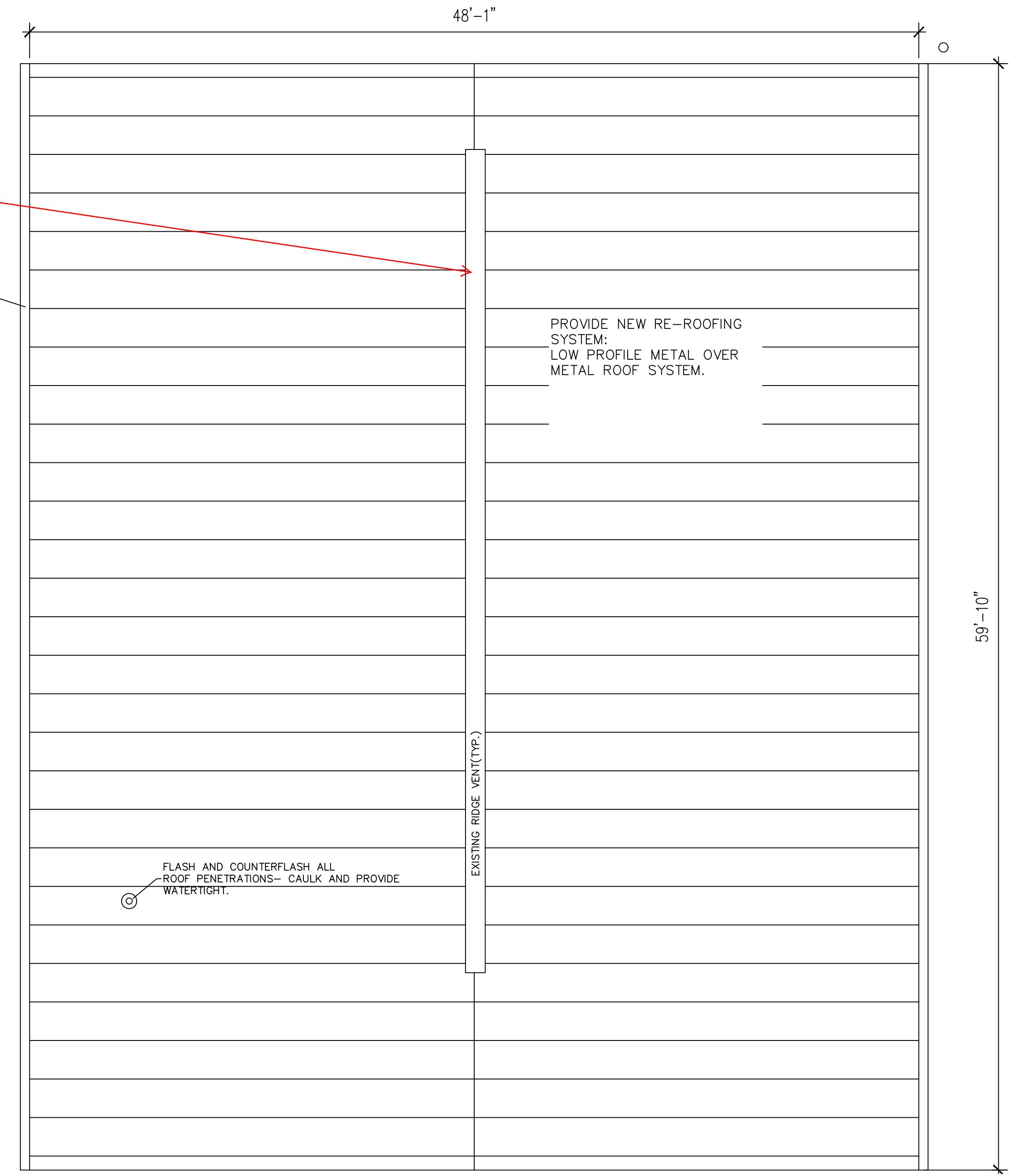
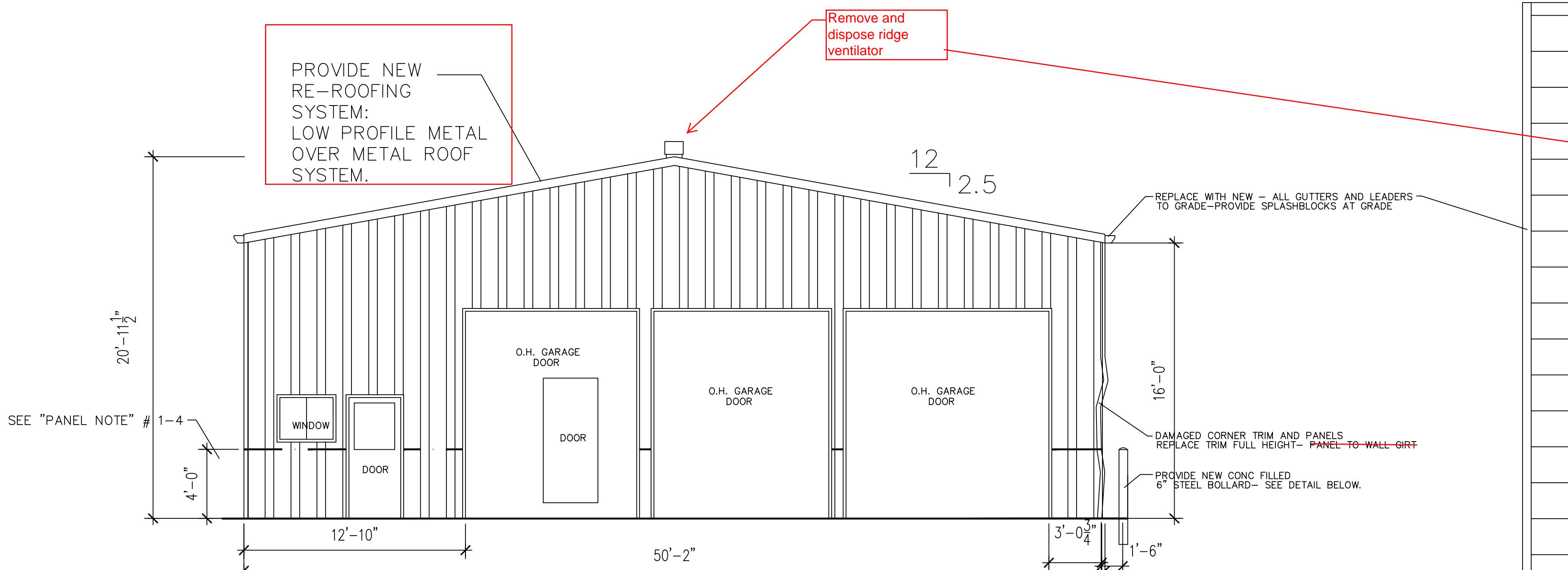
### CITY OF SUMMIT

### MORRIS COUNTY, NEW JERSEY

11.C.2.a

Attachment: Transfer Station Shell Replacement - BlueScope proposal (7377 : Authorize GSA Contract Purchase - Transfer Station Compost Building Shell Replacement - \$265,078.00)

BUILDING DATA	STANDARD ABBREVIATIONS	SYMBOLS LEGEND	MATERIAL SYMBOLS	TITLE SHEET			
				KEITH T. CHAMBERS, AIA ARCH. REG. NO. A11569	SUMMIT TRANSFER/MAINTENANCE BUILDINGS REPAIRS & EXTERIOR RE-SKINNING CITY OF SUMMIT, MORRIS COUNTY NJ		
<p>NOTES FOR CONFORMANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE: (2015 INTERNATIONAL BUILDING CODE)</p> <p>S-1 MODERATE HAZARD STORAGE MAINTENANCE BUILDING CONSTRUCTION TYPE: (TABLE 601): TYPE II-B - NON-COMBUSTIBLE, UNPROTECTED USE GROUP: 'S-1' - STORAGE-MAINTENANCE BUILDING(DPW) INCIDENTAL( ACCESSORY) USE- 'B' - BUSINESS (OFFICES) 'U' - UTILITY- TRANSFER STATION</p> <p>BUILDING AREA:(RENOVATED WALL/ROOF PANELS) MAINTENANCE BUILDING : 4,603.43 S.F. TRANSFER STATION 5,636.02 S.F. TOTAL: 10,239.45 S.F.</p> <p>BUILDING HEIGHT (MAINTENANCE BUILDING): (RIDGE) 21'-0" FT. BUILDING HEIGHT (TRANSFER STATION): (RIDGE) 35'-9" FT.</p>	<p>© AT MIR. MIRROR ALM. ALUMINUM PTD. PAINTED BLDG. BUILDING RAD. RADIUS BTM. BOTTOM S.C. SHOWER CURTAIN C.B. COVE BASE (C.T.) S.D. SOAP DISH C.L. CENTERLINE S.C.R. SHOWER CURTAIN ROD CMU CONCRETE MASONRY UNIT SCW. SOLID CORE WOOD C.O. CLEANOUT STL. STEEL CONC. CONCRETE TTD. TOILET TISSUE DISPENSER C.T. CERAMIC TILE VCT. VINYL COMPOSITION TILE CPT. CARPET VIN. VINYL ELEV. ELEVATION VWC. VINYL WALL COVERING EXIST. EXISTING W/ WITH F.E. FIRE EXTINGUISHER WAIN. WAINSCOT FIN. FINISHED FLR. FLOOR GYP.BD. GYPSUM BOARD G.B. GRAB BAR H.M. HOLLOW METAL</p>	<p>DETAIL REFERENCE/NUMBER DETAIL INDICATES DRAWING SHEET ON WHICH DETAIL IS LOCATED SECTION REFERENCE/LETTER SECTION INDICATES DRAWING SHEET ON WHICH SECTION IS LOCATED ELEVATION REFERENCE/NUMBER ELEVATION INDICATES DRAWING SHEET ON WHICH ELEVATION IS LOCATED</p>	<p>CONCRETE RIGID INSULATION CONCRETE BLOCK ROUGH LUMBER FIBERGLASS BATT INSULATION BLOCKING BRICK RUNNING BOND BRICK VENEER IN ELEVATION</p>	<p>DRAWN BY: MHM, SB CHECKED BY: KTC FILE NAME: Ttitle.dwg SCALE: AS NOTED DWG. DATE: 01/19/18 PRINT DATE: 01/19/18 DRAWING No: T-1 PROJECT No. 16.32.35</p>			
<p>LOCATION MAP NOT TO SCALE</p>		<p>INDEX of DRAWINGS</p> <p><b>GENERAL</b> T-1 TITLE SHEET</p> <p><b>ARCHITECTURAL</b></p> <p>A-1 MAINTENANCE BUILDING- TYPICAL ELEVATIONS, ROOF PLAN AND DETAILS A-2 TRANSFER STATION BUILDING- NORTH &amp; EAST ELEVATIONS AND ROOF PLAN A-3 TRANSFER STATION BUILDING- SOUTH &amp; WEST ELEVATIONS A-4 NEW ROOF SYSTEM- CLIP DETAILS A-5 NEW ROOF SYSTEM- PANEL DETAILS A-6 GENERAL NOTES &amp; SPECIFICATIONS</p>					
<p><b>BID PHASE</b></p>			<p>CHAMBERS ARCHITECTURE INC. P.O. BOX 1058 FLEMINGTON, NJ. 08822 TELE: (908) 788-3646</p>				

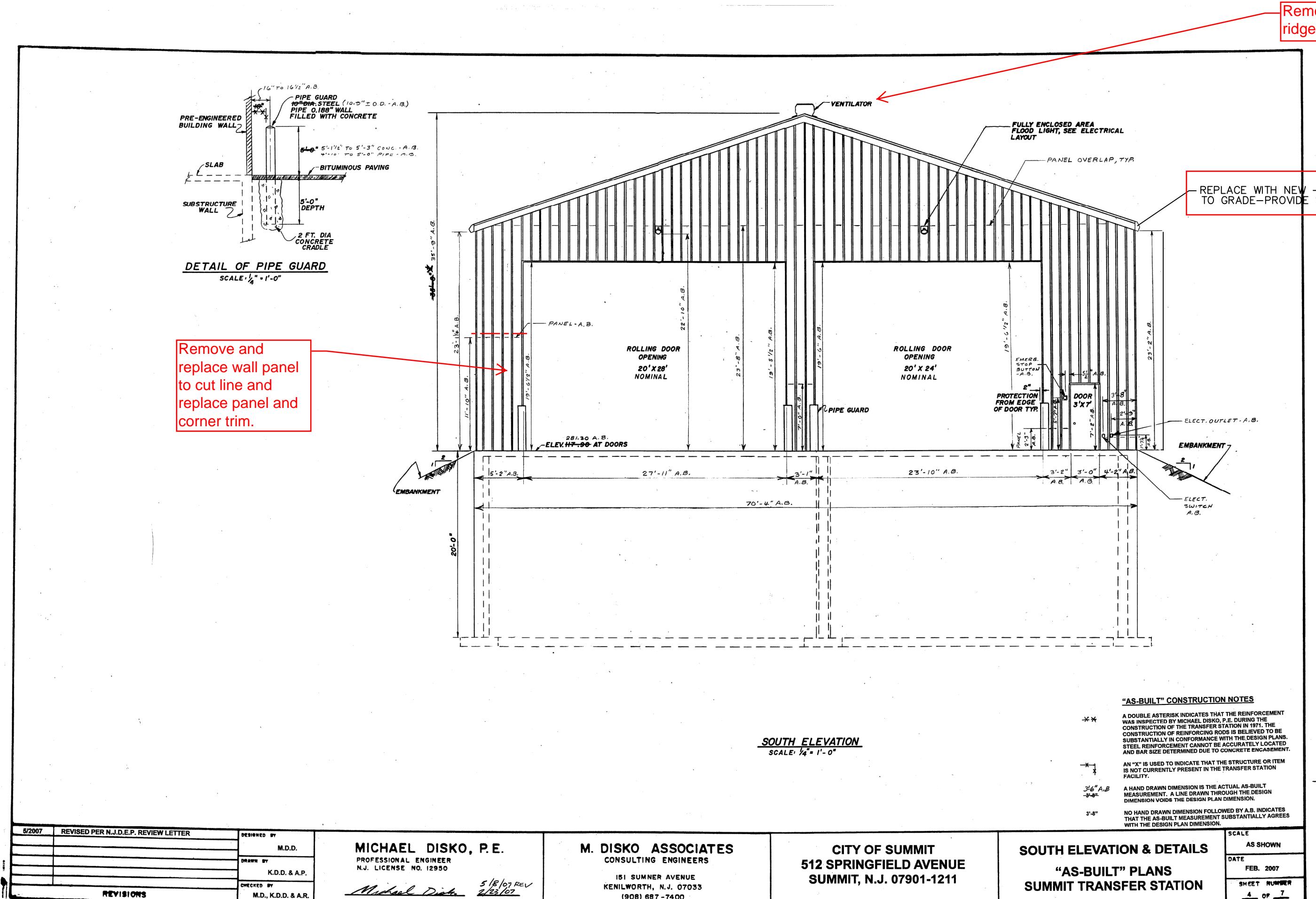


Existing Maintenance Building - TYPICAL - 2 SIDE ELEVATIONS

scale: 1/4" = 1'-0"

DATE	REVISION
THIS DRAWING IS THE PROPERTY OF CHAMBERS ARCHITECTURE, INC. SUBJECT TO COPYRIGHT LAWS, AND MAY NOT BE USED WITHOUT HIS WRITTEN APPROVAL.	
© 02/2017	
LOT: 2 BLOCK: 1505 CITY OF SUMMIT, MORRIS CO. NJ DENOVATO ELEVATIONS AND ROOF PLAN 25 NEW PROVIDENCE AVE	
SUMMIT MAINTENANCE BUILDING REPAIRS & EXTERIOR RE-SKINNING 25 NEW PROVIDENCE AVE	
Attachment: Transfer Station Shell Replacement - Blueprint Contract Purchase (7377) - Authorize GSA Contract Purchase (7377) - Transfer Station Compost Building Shell Replacement - \$265,078.00	
KEITH T. CHAMBERS, AIA	ARCH. REG. NO. AI 111569
DRAWN BY: KTC	CHECKED BY: KTC
FILE LOCATION: A-1	SCALE: 1/4" = 1'-0"
DWG. DATE: 01/02/17	PRINT DATE: 01/19/18
DRAWING No: A-1	PROJECT No: 16.32.35
 CHAMBERS ARCHITECTURE INC. P.O. BOX 1058 FLEMINGTON, NJ. 08822 TELE: (908) 788-3646	

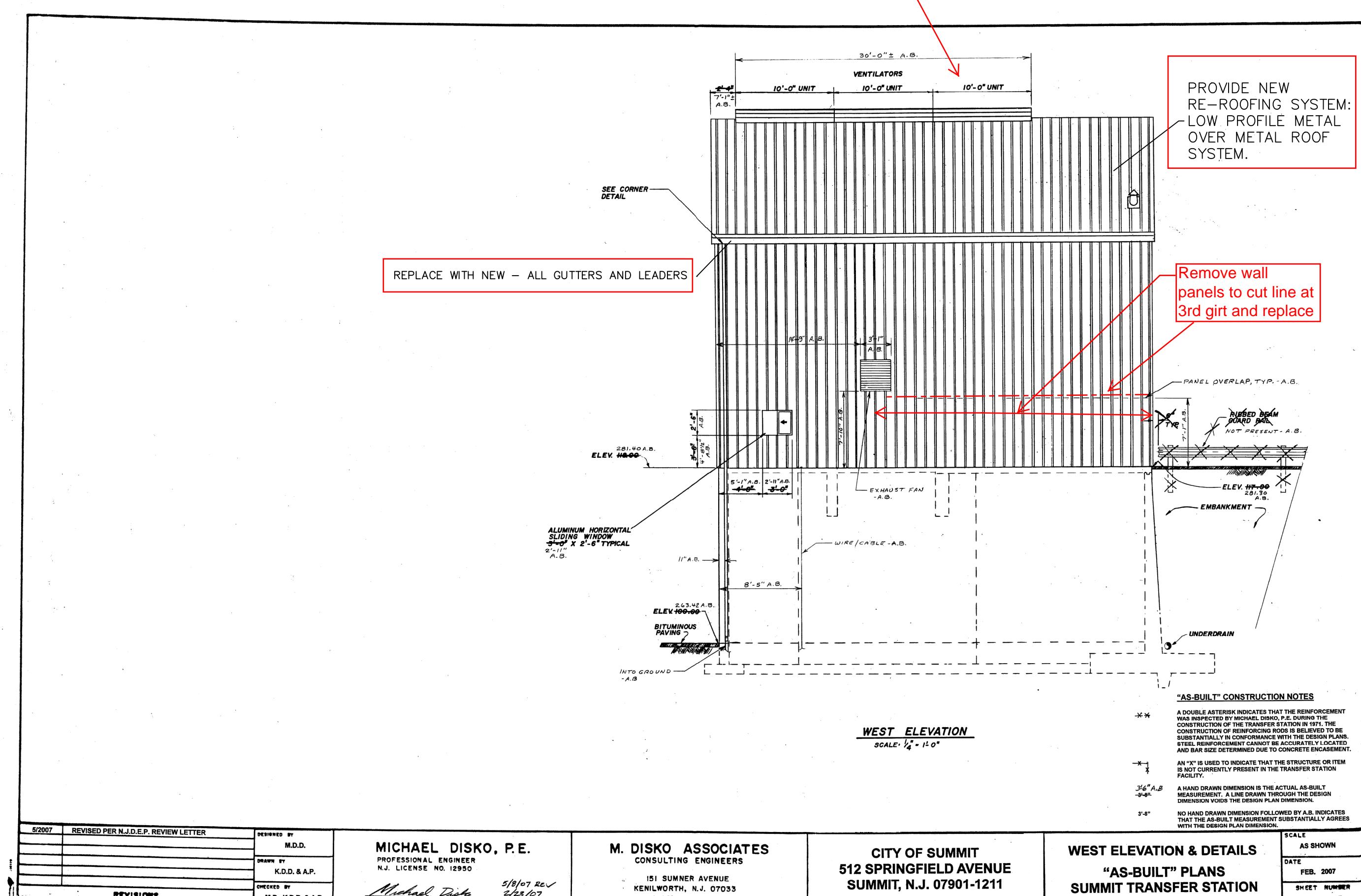




**TYPICAL WALL PANEL REPAIRS:**  
NEW PANEL - STAR PBR 24  
GA. 36" X 1 1/4" RIBBED  
PROFILE

ALL EXISTING WALL PANELS  
HAVE ROTTED OUT AT THE  
BOTTOM 6" WHERE IN CONTACT  
WITH THE GROUND.

1. SAW CUT PANEL AT WALL GIRT/ PURLIN CHANNEL.
2. REPLACE PANEL FROM THIS POINT TO BOTTOM GALVANIZED ANGLE (REPLACE IF MISSING).
3. WEAVE NEW PANEL INTO POSITION TO ALIGN RIBS AND FASTEN WITH STAINLESS STEEL HEAD SCREWS WITH RUBBER WASHERS. CAULK JOINT AT PANELS.
4. PAINT ALL PANELS TO MATCH.



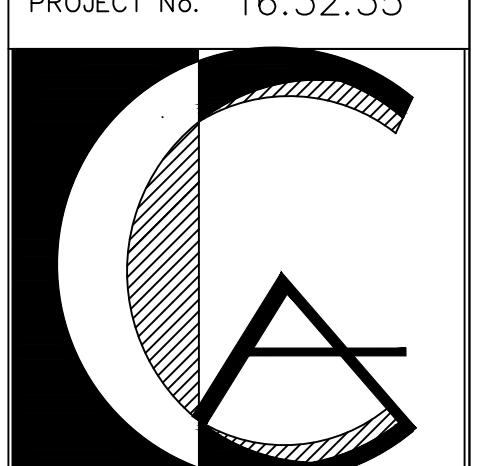
**SUMMIT TRANSFER STATION  
REPAIRS & EXTERIOR RE-SKINNING  
25 NEW PROVIDENCE AVE.**

**LOT: 2 BLOCK: 1505  
CITY OF SUMMIT, MORRIS CO., NJ  
EXISTING SOUTH & WEST ELEVATIONS**

KEITH T. CHAMBERS, AIA  
ARCH. REG. NO. A11569

DRAWN BY: KTC  
CHECKED BY: KTC  
FILE LOCATION: A-3  
SCALE: 1/8" = 1'-0"  
DWG. DATE: 01/02/17  
PRINT DATE: 01/19/18  
DRAWING No: A-3

PROJECT No. 16.32.35



**CHAMBERS  
ARCHITECTURE INC.**  
P.O. BOX 1058  
FLEMINGTON, N.J. 08822  
TELE: (908) 788-3646





# GENERAL NOTES AND SPECIFICATIONS:

- 1 THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS SHALL VISIT AND EXAMINE THE 2 BUILDING PREMISES SO AS TO FULLY UNDERSTAND ALL OF THE PROJECT CONDITIONS PERTAINING TO THEIR WORK.
- 2 ALL DIMENSIONS AND DETAILS SHOWN ON CONTRACT DRAWINGS SHALL BE FIELD VERIFIED AND COORDINATED BY G.C. BEFORE PROCEEDING WITH WORK.
- 3 ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE. ( BC NJ2015)
- 4 THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND MUNICIPAL LAWS, ORDINANCES AND CONSTRUCTION CODES. HE SHALL GIVE ALL NOTICES AND OBTAIN ALL PERMITS NECESSARY FOR THIS WORK. HE SHALL NOTIFY THE OWNER IF IN HIS OPINION ANY WORK IS OMITTED OR IF ANY WORK OR MATERIAL SHOWN OR SPECIFIED IS NOT IN ACCORDANCE WITH GOOD PRACTICE OF THESE RULES.
- 5 THE DRAWINGS SHOW THE INTENT OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR THE METHODS AND MEANS OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PRECAUTIONS ON THE JOB.
- 6 WORK TO BE DONE SHALL BE ALL INCLUSIVE AND ANY WORK NOT SPECIFICALLY MENTIONED BUT REASONABLY IMPLIED SHALL BE INCLUDED.
- 7 THE HANDLING AND STORAGE OF ALL WELDING MATERIALS, ACETYLENE AND OXYGEN TANKS, BURNERS, ETC., IF REQUIRED FOR THE EXECUTION OF WORK, SHALL BE SUBJECT AT ALL TIMES TO THE APPROVAL OF THE CITY OR THEIR SUPERVISOR IN CHARGE OF THE BUILDINGS. THE CONTRACTOR SHALL PROVIDE STANDBY FIRE EXTINGUISHERS AND ALL THE EQUIPMENT MENTIONED HEREIN SHALL BE REMOVED AT THE END OF EACH WORKING PERIOD.
- 8 THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TEMPORARY SIGNS, LIGHTING, ETC., AS REQUIRED AROUND ALL OPENINGS, EXCAVATIONS AND ELSEWHERE AS NECESSARY. ALL SHALL BE PROVIDED IN ACCORDANCE WITH OSHA AND REQUIREMENTS OF THE OWNER.
- 9 ALL NEW WORK SHALL MEET NJUCC SEISMIC REQUIREMENTS.
- 10 THE CONTRACTOR SHALL FURNISH SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL OF ALL SHOP FABRICATED WORK. CONTRACTOR TO SUPPLY 3 SETS OF PRINTS & (1) SET OF PDF'S OF ALL SHOP DRAWINGS SUBMITTED FOR APPROVAL TO THE ARCHITECT. ALL SHOP DRAWINGS TO BE STAMPED APPROVED BY THE CONTRACTOR, PRIOR TO SUBMITTING TO THE ARCHITECT. THOSE NOT STAMPED WILL BE RETURNED UNAPPROVED.
- 11 THE CONTRACTOR SHALL GUARANTEE ALL WORK DONE AND MATERIAL SUPPLIED BY HIM AND HIS SUBCONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER.
- 12 THE OWNER RESERVES THE RIGHT TO DESIGNATE THE ORDER IN WHICH THE CONTRACTOR SHALL PROCEED WITH ANY AND ALL PORTIONS OF THE WORK. WORK SHALL BE COORDINATED SO AS NOT TO INTERFERE WITH THE BUSINESS OF THE OWNER.
- 13 NO CHANGES SHALL BE MADE FROM CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE OWNER.
- 14 ALL CHANGES TO ORIGINAL CONTRACT DOCUMENTS APPROVED BY THE OWNER TO BE DOCUMENTED ON AS-BUILT DRAWINGS AND TURNED OVER TO THE CITY UPON COMPLETION OF PROJECT AND BE LABELED "RECORD" DRAWINGS. ALL CONCEALED ELECTRICAL/MECHANICAL SERVICES UNDER THIS CONTRACT TO BE RECORDED. PROVIDE OWNER WITH TWO COPIES OF OPERATION AND MAINTENANCE MANUALS FOR NEW SYSTEMS.
- 15 UPON COMPLETION OF WORK, CONTRACTOR TO TURN OVER TO OWNER COPIES OF FINAL CERTIFICATE OF OCCUPANCY AND OR UNDERWRITERS CERTIFICATE.
- 16 CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE SAFETY.
- 17 CONTRACTOR TO PROVIDE ADEQUATE FIRST AID AND FIRE PROTECTION IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF ALL BUILDING CODES.
- 18 NOT USED
- 19 CONTRACTOR TO DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL WORK INDICATED AND ALL OTHER WORK AS MAY BE REQUIRED TO COMPLETE THE PROJECT.
- 20 CONTRACTOR TO PATCH AND REPAIR ALL EXISTING WORK, FLOORS, DUCTS, ELECTRICAL AND PLUMBING WHERE DAMAGED BY NEW WORK.
- 21 CONTRACTOR WILL BE RESPONSIBLE FOR HIS OWN TRASH AND RUBBISH REMOVAL. THE CONTRACTOR SHALL SUPPLY HIS OWN DUMPERS AND RUBBISH REMOVAL EQUIPMENT TO REMOVE DEBRIS FORM THE WORK SITE.

## Low Profile Metal Over Metal Roof System (by Butler or Equal)

### 1. General

1.1 The Butler Manufacturing Low Profile Metal Over Metal Retrofit System, hereafter known as the "System" is designed to allow the installation of the MR-24® Roof System over an existing metal panel roof. The System is an assembly of quality components, assembled in the field to achieve a weathertight standing seam roof that performs like a single steel membrane protecting the building and its contents. All materials manufactured and purchased by Butler Manufacturing are of first quality. To insure quality, all materials and parts must meet rigid material and performance specifications established by Butler's Research and Development Department.

### 2. Component Description

#### 2.1 MR-24® Roof System Panel

A. Roof panel shall be factory roll formed MR-24 roof panel manufactured by Butler Manufacturing or equal 24" wide, with a major corrugation 2" high (2-1/4" including seam), 24" on center. The flat of the panel shall contain cross flutes 6" on center perpendicular to the major corrugations the entire length of the panel to reduce wind noise, increase strength, and improve walkability.

B. Panel material as specified shall be 24 gage GALVALUME® steel coated on both sides with a layer of aluminum-zinc alloy (approximately 55% aluminum, 45% zinc) applied by the continuous hot dipped method. Minimum 0.55 ounce coated weight per square foot as determined by the triple spot test per ASTM Specification A 792.

#### 2.2 MR-24 Roof System Clip

The Retrofit MR-24 Roof Panel Clip: Galvanized steel clip base with stainless steel sliding clip tab. Galvanized steel clip base shall be pre-punched or pre-drilled for mounting to existing secondary structural members. Sliding clip tab shall be designed to lock into and become an integral part of the roof panel double lock seam. The roof clip securely holds the panels to the existing secondary structural members while still allowing the entire new MR-24 roof to move due to thermal expansion and contraction forces.

#### 2.3 Panel Support Block

The MR-24 Roof System panel support block is designed to nest in the flat of the existing "R" panel directly over the existing secondary structural members 1'-0" on center. The panel support block provides a bearing surface for the flat of the MR-24 panel. The panel support block shall be extruded polystyrene foam, Type SM or equal, and density of 2.2 lb/ft<sup>3</sup> rkp. The panel support block shall be approximately 1-1/2" x 4" x 4 3/4" in size.

#### 2.4 Connections

##### A. Panel Connection

The MR-24 roof panels are permanently seamed together with a full 360 degree Pittsburgh double lock seam to keep moisture out. The type 304 stainless steel clip tab folds tightly into the seam to assure weathertightness. The Butler Manufacturing roof clip tab is more than 50% stronger than coated carbon steel standing seam clip tabs.

##### B. Panel Clip to Existing Structural Connection

A 3/8" by 1" Scrubolt™ fastener is provided with the System for attachment of the roof panel to the existing structural member. Due to variable site and existing structural conditions, Butler Manufacturing shall not be responsible for the design of the connection of the System to the existing structural. A professional structural engineer should determine whether the supplied Scrubolt fastener is adequate based on existing conditions.

### 3. Design Information

- 3.1 For the System to be installed, the existing roof must meet the following criteria:
  - A. The existing roof corrugations must be 1'-0" on center.
  - B. The width of the existing roof corrugation must be less than or equal to 3".
  - C. The height of the existing panel corrugations must be less than or equal to 1-1/2".
- 3.2 The System has been designed in accordance with the latest edition of the American Iron and Steel Institute (AISI) "Cold-Formed Steel Design Manual", and in accordance with reliable engineering methods and practices.
- 3.3 Performance Testing
  - A. Underwriters Laboratories – UL Class 90 Rating (U.L. Test 580).
  - B. ASTM E 1592
  - C. ASTM E 1680-95 Air Infiltration @ 12.0 psf, 0.006 cfm/ft<sup>2</sup>  
ASTM E 1646-95 Water Penetration @ 12.0 psf no leakage  
Factory Mutual FM I-60, FM I-75, FM I-90, FM I-120

## PRE-FINISHED METAL INDUSTRIAL SIDING AND ROOFING

1 FURNISH AND INSTALL "STAR, BUTLER" OR EQUAL WALL PANELS(BOTH BUILDINGS) SEE ELEVATIONS FOR TYPE. PROVIDE ALL REQUIRED TRIM AND FLASHINGS TO MAINTAIN WATERTIGHTNESS.

- 1A FURNISH AND INSTALL "BUTLER" MR-24 STANDING SEAM ROOF PANEL SYSTEM PER A-4 AND A-5
- 2 FURNISH AND INSTALL COLD-FORMED STRUCTURAL CLIPS AND ACCESSORIES.

3 CONTRACTOR SHALL FURNISH ALL MATERIALS, ERECTION LABOR AND EQUIPMENT REQUIRED IN THE EXECUTION OF THIS WORK IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.

4 PANELS SHALL BE ROLLFORMED IN THE PROFILE TO MATCH EXISTING RIBS ON CENTER AND DEPTH. PANELS SHALL PROVIDE AN EQUAL COVERAGE AND SHALL HAVE OVERLAPPING SIDELAP FEATURES.

5 THE SIDING PANELS SHALL BE FABRICATED FROM 24 GAUGE, GRADE C (40 KSI) STRUCTURAL QUALITY STEEL CONFORMING TO ASTM A-446 WITH A G-90 HOT DIPPED GALVANIZED COATING CONFORMING TO ASTM A-525.

6 ALL PANELS SHALL RECEIVE A FACTORY APPLIED PAINT COATING WITH COLOR AS SELECTED BY CITY TO MATCH EXISTING.

7 ALL FLASHINGS SHALL BE SHOP FABRICATED FROM MATERIAL THAT IS THE SAME GAUGE AND FINISH AS THE "WALL" PANELS TO WHICH THEY ARE ATTACHED. WHERE PRACTICAL, FLASHINGS SHALL BE FURNISHED IN MAX. 10 FT. LENGTHS.

8 CLOSURES SHALL BE PRE-MOLDED NEOPRENE TO MATCH THE CONFIGURATIONS OF THE EXISTING PANEL AND SHALL BE IN LENGTHS AS SUPPLIED BY THE PANEL MANUFACTURER.

9 CAULKING AT PANEL JOINTS SHALL BE A POLYURETHANE, NON-HARDENING TYPE OR A BUTYL SEALANT TAPE WITH A MINIMUM THICKNESS OF 1/8". ALL CAULKING OR SEALING SHALL BE DONE IN A NEAT MANNER WITH EXCESS CAULKING OR SEALANT REMOVED FROM EXPOSED SURFACES.

10 ALL FASTENERS SHALL HAVE A COMBINATION STEEL AND NEOPRENE WASHER. ALSO FASTENER HEADS SHALL BE FACTORY COLOR COATED TO MATCH THE EXTERIOR PANELS AND SHALL BE:

A. PANEL TO GIRTS/PURLINS: FASTENERS ATTACHING PANEL TO SUPPORT MEMBERS SHALL BE STAINLESS STEEL SCREW OF SUFFICIENT LENGTH TO PENETRATE THE SUPPORT MEMBER BY 1 INCH. ALL FASTENERS SHALL BE APPLIED IN ACCORDANCE WITH MANUF.'S FASTENING SCHEDULE FOR THE PANEL PROFILE.

B. FLASHINGS AND SIDELAPS: SHALL BE A STAINLESS STEEL STICH SCREW. ALL FLASHINGS AND ACCESSORIES SHALL BE FASTENED APPROXIMATELY 12" O.C.

11 PROPER INSTALLATION OF NEW PANELS AND ALL RELATED COMPONENTS IS THE RESPONSIBILITY OF THE PANEL ERECTOR.

12 THE CONTRACTOR SHALL INSPECT THE STRUCTURE TO INSURE THAT THE SUPPORT MEMBERS ARE SECURELY ANCHORED AND PROPERLY ALIGNED SO AS TO PROVIDE A FLAT PLANE FOR THE PANELS.

13 ALL PANELS SHALL BE ERECTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS WHICH HEREBY BECOME A PART OF THIS SPECIFICATION.

14 AFTER INSTALLATION, ALL PAINTED PANELS SHALL BE WIPE CLEAN AND ALL SCRATCHES OR ABRASIONS SHALL BE TOUCHED UP WITH AN AIR DRY PAINT AS RECOMMENDED OR SUPPLIED BY THE PANEL MANUFACTURER. TOUCH UP PAINT SHALL BE THE SAME COLOR AS THE PANELS.

15 ALL HOT-ROLLED STRUCTURAL STEEL, MISCELLANEOUS STEEL AND FIELD PAINTING OF ALL STEEL SHALL BE PROVIDED BY OTHERS.

16 WOOD BLOCKING SHALL BE PROVIDED BY OTHERS.

17 ANY OTHER MISCELLANEOUS ITEMS WHICH HAVE NOT BEEN SPECIFIED OR ARE NOT NORMALLY SUPPLIED BY THE PANEL MANUFACTURER SHALL BE PROVIDED BY OTHERS.

18 PRIOR TO FABRICATION, FIELD ERECTION DRAWINGS SHALL BE PREPARED AND SUBMITTED FOR APPROVAL SHOWING COMPLETE LAYOUT AND ALL DETAILS. NO ERECTION OR ERECTION MAY BEGIN UNTIL DRAWINGS ARE REVIEWED AND APPROVED BY THE ARCHITECT OR ENGINEER AND RETURNED TO THE PANEL ERECTOR.

## MOISTURE PROTECTION

1 ACCORDING WITH APPROVED SPECIFICATIONS OF THE MATERIAL MANUFACTURER, PROVIDE 25 YEAR WRITTEN GUARANTEE FOR ALL ROOFING SYSTEM WORK.

2 FLASHING IN GENERAL SHALL BE .019" MINIMUM ALUMINUM WITH A MATCHING DOUBLE BAKED ENAMEL FINISH AS MANUFACTURED BY ALCOA OR APPROVED EQUAL.

3 GUTTERS AND LEADERS SHALL HAVE A BAKED ENAMEL FINISH AS PER ROOFING MANUFACTURER. GUTTERS SHALL BE 5" WIDE, .032" THICK MATERIAL AND LEADERS TO BE MIN. 4" X 4" SQUARE TO SPLASHBLOCK AT GRADE. COLOR: AS PER CITY.

4 SEAL ALL WEATHER JOINTS AROUND PERIMETER OF ALL ROOF VENTS AND GRILLES AND ELSEWHERE AS REQUIRED FOR TIGHTNESS AGAINST WIND AND LEATHER. VENT LINERS SHALL BE PERFORATED METAL, G.C. POLYURETHANE, POLYMER OR FIBERGLASS. GUTTER-MICRO ACRYLIC POLYMER OR DOW-CORNING 780" BUILDING SEALANT SILICONE RUBBER BASE OR APPROVED EQUAL TO BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

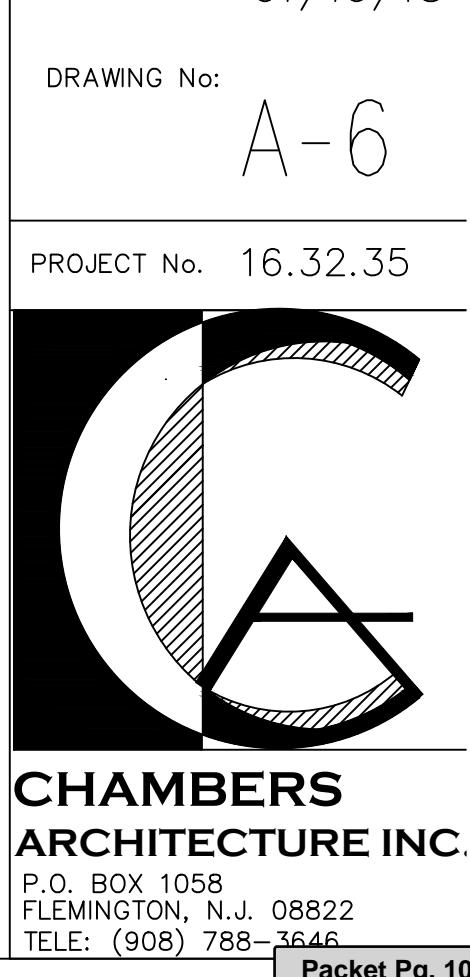
5 LEADERS SHALL BE TAKEN TO PRECAST SPLASHBLOCKS AT GRADE AND RUN AS DETERMINED BY SITE CONDITIONS. DO NOT TIE INTO FOUNDATION DRAINAGE SYSTEM.

DATE	REVISION

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SUMMIT MAINTENANCE BUILDING REPAIRS & EXTERIOR RE-SKINNING	
LOT: 2	BLOCK: 1505
CITY OF SUMMIT, MORRIS CO. NJ	
GENERAL NOTES AND SPECIFICATIONS	
25 NEW PROVIDENCE AVE.	

KEITH T. CHAMBERS, AIA	ARCH. REG. NO. A111569
DRAWN BY: KTC	CHECKED BY: KTC
FILE LOCATION: A-6	SCALE: AS NOTED
DWG. DATE: 01/02/17	PRINT DATE: 01/19/18
DRAWING No:	A-6





## Certification of Availability of Funds

This is to certify to the Mayor and Common Council of the City of Summit that funds for the following resolution are available:

Resolution Date: 3/16/2021  
Resolution Doc Id: 7377

Vendor: Bluescope Construction Inc  
t/a Butler Construction  
1540 Genessee Street  
Kansas City, MO 64102

Purchase Order: 21-00644

Account Number	Amount	Account Description
C-04-31-091-00A-590	\$100,000.00	3191A DCS Transfer Stat Siding/Shell Replace
C-04-32-013-00A-680	\$125,000.00	3213A DCS Transfer Stat Siding/Shell Replace
C-06-30-085-00A-010	\$ 44,078.00	Sanitary Sewer Improvements
<b>Contract Total</b>	<b>\$269,078.00</b>	

Only amounts for the current Budget Year have been certified.  
Amounts for future years are contingent upon sufficient funds being appropriated.

Tammie L. Baldwin  
City Treasurer/CFO

Resolution (ID # 7611)  
March 16, 2021

**AUTHORIZE PURCHASE OF MACK SINGLE AXLE DUMP TRUCK - EDUCATIONAL  
SERVICES COMMISSION OF NJ COOPERATIVE PRICING SYSTEM - \$103,555.10**

BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

That, in accordance with the City Treasurer's certification of availability of funds in Account #C-04-32-013-00C-200, a copy of which is attached hereto and made a part of this resolution, pursuant to the Educational Services Commission of New Jersey Cooperative Pricing System contract #17/18-30, a purchase order in the amount of \$103,555.10 be issued to Gabrielli Kenworth of NJ, LLC, 2306 US Highway 130N, Dayton, NJ 08810, for the purchase of one 2021 Mack Granite GR42BR9 (MHD) Single Axle Dump Truck.

Dated: March 16, 2021

I, Rosalia Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



**DCS - Public Works Division**

[www.cityofsummit.org](http://www.cityofsummit.org)

Meeting: 03/16/21 07:30 PM

## **RESOLUTION (ID # 7611)**

DOC ID: 7611

TO: Mayor and Common Council

FROM: Aaron Schrager, City Engineer/ Acting DCS Director

DATE: January 7, 2021

### **SUMMARY**

See attached memo from DPW Superintendent Michael Caputo.



CITY OF SUMMIT  
DEPARTMENT OF  
COMMUNITY SERVICES

## 5CY DUMP TRUCK W/ SNOW PLOW REPLACEMENT

### SUMMIT DPW TRUCK #43



#### Existing 5CY Dump Truck #43 w/ Snow Plow

Purchased: Truck – 2009; Plow - 2009

Original Price: \$106,333.00

Mileage: 27,687

Use: Roads Unit paving/patching – 4-5 times weekly  
Tow Vehicle, Storm Cleanup – as needed  
Plowing/Salting – as needed

Annual Days in Use: 234 +/- days

Current Repair Issues: needs scissor frame, complete tarp assembly, hoist cylinder leaking, body corrosion, ABS sensor, plow cylinder leaking, brakes worn. Estimated repair cost - \$50,000.00

#### Recommended 8CY Dump Truck w/Plow

Initial Cost: \$174,955.10

Note: Similar truck pictured. To be outfitted with two-way mobile radio and emergency work lighting after delivery.





# Memorandum

To: Aaron Schrager, Deputy Director  
 From: Michael Caputo, Superintendent of Public Works  
 Cc: File  
 Date: January 25, 2021  
 Re: 2021 Mack Granite Single Axle Dump Truck with Snow Plow (#43) Purchase Recommendation

The 2020 Capital Budget process approved funding for the replacement purchase of a single axle dump truck with snow plow by the Division of Public Works in support of its Roads Unit maintenance operations and emergency/winter storm response program. This recommendation is to purchase a new 2021 CH – 273A Mack Granite 42BR 4x2 chassis with an Everest 8 yard dump body, and hydraulic spreader controls as a replacement for the 2009 International Work Star (#43) currently in the DPW equipment inventory.

The new vehicle will be used primarily by the Roads Unit as a dump truck for paving, patching, concrete tasks and for towing the unit's equipment trailers and hauling various debris to end markets. It will also be used in conjunction with other DPW units as a primary district snow plow vehicle in support of division roadway snow removal operations.

The total vehicle purchase (Cab/chassis, dump body, spreader system, plow), will cost a total of \$164,588.71.

- The 2021 CH – 273A Mack Granite 42BR 4x2 chassis, will be purchased from Gabrielli Truck Sales, 80 Green Pond Road. Rockaway, NJ. 07660 via ESCNJ #17/18-30, for a total cost of \$103,555.10
- The hydraulic spreader control system, plow kit, and Everest 8-yard dump body will be fabricated be Reed Systems LTD. 17 Edwards Place, Ellenville, NY. 12428 via ESCNJ #17/18-30, for a total cost of \$61,033.61.

Funding for this purchase is provided in the following capital account:

- Capital Account # C-04-32-013-00C-200

Additional funds from this account, (if applicable), will be used to outfit the new truck with a two-way mobile radio, additional emergency work lighting, and other snow plow components after delivery of the new vehicle.

I recommend the purchase of this, 2021 CH – 273A Mack Granite 42BR 4x2 chassis with an Everest 8 yard dump body, plow kit, and hydraulic spreader control system as specified, with the cost of \$164,588.71.

Please contact me with any questions.

# CONFIRMATION #: CH-273A


**NJ Locations:**

2306 Route 130 North  
Dayton, NJ 08810

80 Green Pond Road  
Rockaway, NJ 07660

239 Ridgefield Turnpike  
Ridgefield Park, NJ 07886

**Buyer Information:**

Attn: Michael Caputo  
City of Summit  
512 Springfield Ave Summit NJ 07901

Date: 6/24/2020  
Revison: Rev1  
Contract: 17/18-30  
**VALIDATION #**

**Comment or Special Instructions:**

Please see attached specification

Prepared By: Colin Keim  
Phone: 862-266-3904

Description	Amount
2021 Mack Granite GR42BR9 (MHD) as per attached specification and contract	\$ 149,790.00
ESCNJ Member Discount of List Price: 31%	\$ (46,434.90)
Delivery to City of Summit Public Works Garage as per contract	\$ 200.00
<i>Additional Options and Extended Warranties are available upon request</i>	<b>\$ 103,555.10</b>

Approved By: \_\_\_\_\_ Date: \_\_\_\_\_

**THANK YOU FOR THE OPPORTUNITY TO PROVIDE THIS PROPOSAL**



### Chassis Specification

<b>Customer</b>	CITY OF SUMMIT 512 SPRINGFIELD AVE	<b>Your ref.</b> <b>Quote no.</b>	COLIN KEIM GABR202000003A112
	SUMMIT 079012607 NJ	<b>Alternative Id</b> <b>Date</b>	1
<b>Customer no</b>	9150029297	<b>Order Date</b>	
<b>Org No</b>		<b>Last Change</b>	
<b>Telephone</b>			
<b>Mobile phone</b>			

### Model

				Qty	List Price	
<b>GRANITE 42BRMHD</b>				1	139,556.00	
<b>CA Status</b>	Included					
<b>Order number</b>						
<b>Price List</b>	2019-08-12					
<b>Delivery Time</b>						
<b>Delivery Address</b>						
Family	ID	S/O	Description			
<b>APPLICATION PACKAGES</b>						
MHD AB CONFIG PKG	PK50000	Option	W/O MHD AB CONFIG PACKAGE			
<b>CUSTOMER/VEHICLE INFO</b>						
CHASSIS (BASE MODEL)	0029500	Standard	GRANITE 42BR MHD			
ASSEMBLY PLANT	FACT-US6	Standard	FACTORY MACUNGIE			
VEHICLE MODEL YEAR	A192021	Option	2021 MODEL YEAR			
CUSTOMER FLEET SIZE	MP20001	Standard	DEALER FLEET WITH LESS THAN 25 VEHICLES IN OWN FLEET OF ANY VEHICLE BRAND			
TYPE OF SERVICE	0130001	Standard	COMMERCIAL			
WARRANTY REGISTRATION LOCATION	M981001	Standard	US - WARRANTY REGISTRATION LOCATION			
INITIAL REGISTRATION LOCATION	5051701	Standard	ALL 50 STATES, CARB ENGINE EMISSION (US17 / US21 / ZERO EMISSION)			
LANGUAGE-PUBS/DECAL/SIG NS	5340001	Standard	ENGLISH			
ROAD CONDITION	RC-SMOOT	Standard	WELL MAINTAINED SURFACED ROADS >95% DRIVING DISTANCE			
VEHICLE USE & BODY/TRAILER TYPE	0059386	Option	SNOW PLOW FRONT AND WING PLOW TRUCK			
GROSS COMBINATION WEIGHT	GCW27.5	Option	27.5 TONNES, GROSS COMBINATION WEIGHT			
BRAKE REGULATION	BREG94	Standard	BRAKE REGULATION, STOPPING DISTANCE 94M (310 FT)			
TOPOGRAPHY	T-PFLAT	Standard	GRADES <6% DUR >98% OF DRIV DIST. MAX GRADE 16%			
AMBIENT TEMP UPPER LIMIT (GTA)	ATU40	Standard	AMB TEMP HOT, UP TO +40C, WARMER ALLOWED 25 H/YEAR			

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User  
COLIN KEIM

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TERRAIN GRADE	0320089	Standard	ON-OFF HIGHWAY, STARTING GRADES<18%		
LOADING SURFACE	0330010	Standard	CONCRETE LOADING AND / OR UNLOADING SURFACE		
VEHICLE VOCATION	0340202	Standard	CONSTRUCTION SERVICE		
PILOT INSPECTION	0220000	Standard	NO PILOT REQUESTED		
<b>ENGINE/TRANSMISSIONS</b>					
ENGINE PACKAGE, COMBUSTION	1003250	Standard	ISL9-D 350 CUMMINS 350HP @ 2200 RPM (GOV) 1150 LB-FT, US'17		
TRANSMISSION	1364511	Standard	3000 RDS 6-SP ALLISON GEN5 W/PROGNOSTICS, WITH PTO PROVISION		
GEARBOX 12TH GEAR LOCK-OUT	UGGLT	Standard	WITHOUT 12TH GEARBOX GEAR LOCK-OUT		
<b>EXHAUST/EMISSIONS</b>					
CARB 2008 IDLE REGULATION	CIR0003	Standard	IDLE EMISSION CERTIFICATION, CARB (WITH DECAL LOCATED ON LOWER LH CORNER / DRIVER DOOR		
DPF DIESEL PARTICULATE FILTER	DPF0202	Standard	CUMMINS SINGLE MODULE E.A.T.S. RH SIDE UNDER CAB US17 (7L up to 270HP 19L up to 350HP only!!)		
DPF COVER	DPFC-PS	Standard	DPF COVER, PAINTED STEEL		
DEF TANK	DF12025	Standard	6.6 GALLON (25 L) 22" LEFT SIDE FUEL TANK MTD		
EXHAUST	1305101	Standard	SINGLE VERTICAL RIGHT SIDE CAB MOUNTED, LOWER VENTURI DIFFUSER, TURNED END		
EXHAUST STACK HEIGHT	EXSTH29	Standard	EXHAUST STACK 2.9 METRE, HEIGHT OVER GROUND (9' 6")		
EXHAUST SYSTEM MATERIAL FINISH	EXMF-STD	Standard	STANDARD EXHAUST SYSTEM MATERIAL FINISHING		
EMISSION ON BOARD DIAG CONTROL	EOBD-U16	Standard	EMISSION OBD, DISPLAY ONLY, USA2016		
<b>ENGINE EQUIPMENT</b>					
AIR CLEANER	1250400	Option	UNDER HOOD SINGLE ELEMENT DRY TYPE W/AIR CONTROLLED INSIDE-OUTSIDE AIR INTAKE		
BUG SCREEN	1219001	Standard	BLACK ALUMINUM MOUNTED BEHIND GRILLE, WITHOUT WINTER FRONT COVER		
COMPRESSOR CAPACITY	1COMP530	Standard	1 CYL. 530 L/MIN. COMPRESSOR		
AIR DRYER - MANUFACTURER	AIRM-W13	Standard	WABCO AIR DR, 1200UP W/ T CUT OFF VALVE, W COALESC OIL FILTER		
ALTERNATOR	1321226	Option	DELCO 12V 135A (35SI) BRUSHLESS	147.00	
BATTERIES	3165104	Option	(3) MACK 12V 760/2280 CCA THREADED STUD TYPE		
BATTERY BOX - MOUNTING	3930072	Standard	RH RAIL BEHIND SCR		
BATTERY BOX COVER	BBOXC-BA	Standard	BASIC BATTERY BOX COVER		
EMERGENCY START CONNECTIONS	ESS-BBM	Option	EMERGENCY START STUDS, BATTERY BOX MOUNTED	158.00	
BATTERY DISCONNECT SWITCH	3180013	Option	MAIN SWITCH, MOUNTED INSIDE CAB, GROUND ACCESSIBLE	268.00	
STARTER MOTOR	12STR-S2	Standard	12V STANDARD STARTER DELCO 39MTHD		
ENGINE BRAKE	1103000	Standard	JACOBS C BRAKE, 2 POSITION		
FAN DRIVE	1180029	Standard	KYSOR FAN, "ON-OFF"		
COOLANT PROTECTION	1192004	Standard	ETHYLENE GLYCOL EXTENDED LIFE COOLANT (50/50 MIX DYED RED) TO -34DEG		
HOSES - RADIATOR/HEATER	1249031	Option	MACK EPDM RADIATOR & HEATER HOSES, WBREEZE CONSTANT TORQUE CLAMPS ON ALL COOLANT LINES	31.00	

FUEL-WATER SEPARATOR	2931000	Option	DAVCO 382, (FLUID HTD) FUEL HEATER/WATER SEPARATOR W/VENDOR PRIMARY STANDARD FUEL FILTER POSITION	348.00	
PRIMARY FUEL FILTER POSITION (CA)	FPP-STD	Standard	WITHOUT FUEL HEATER EQUIPMENT		
FUEL HEATING EQUIPMENT	UFUEQWH	Standard	12v ELECTRIC STARTING AID + 120v 1500w BLOCK HEATER + W/O OIL PAN HEATER		
ENGINE HEATERS	MCA0054	Option	OIL PAN STEEL		
OIL PAN	OILS-ST	Standard	TETHER DEVICE PKG 4 (P1+P2+TOOL BOX COVER)	33.00	
TETHER DEV PKG, CAPS & COVERS	TDCC-P4	Option	WITHOUT ALCOHOL EVAPORATOR		
ALCOHOL EVAPORATOR	UALEVAP	Standard	WITHOUT ENGINE STOP, EMERGENCY (CA)		
ENGINE STOP, EMERGENCY (CA)	UENGSTOP	Standard	CLUTCH/TRANS EQUIPMENT		
GEAR SHIFTER	4921003	Standard	ALLISON DASH MOUNTED SHIFTER W/NEUTRAL TO RANGE INHIBIT (HD SERIES)		
CLUTCH	1330000	Standard	OMIT CLUTCH		
CLUTCH PEDAL PAD	UCPEDAL	Standard	WITHOUT CLUTCH PEDAL		
CLUTCH ACTUATION SYSTEM	UCLAS	Standard	WITHOUT CLUTCH ACTUATION SYSTEM		
CLUTCH LUBE LINE	ULBLINE	Option	WITHOUT LUBELINE BETWEEN RELEASE BEARING AND BELL HOUSING		
ENGINE START CONDITION	UESC	Standard	WITHOUT ENGINE START CONDITION		
DRIVELINE - MAIN	1951202	Option	MERITOR 176 MXL "XTENDED LUBE" (PROPS-M)	42.00	
PROP SHAFT BEARING GUARD	PSBG-C	Option	PROP SHAFT CENTER BEARING GUARD	39.00	
PROPELLE R SHAFT MAIN, UNVSL JNT BELL HOUSING	PSMUJ-HR	Standard	PROPELLE R SHAFT MAIN, UNIVERSAL JOINT HALF-ROUND TYPE ALUMINUM BELL HOUSING		
LUBRICANTS, TRANSMISSION	LUBET-ST	Standard	SYNTHETIC OIL IN TRANSMISSION, TRANSYND W40-10		
TRANSMISSION OIL COOLER	1399009	Option	FURNISH FOR ALLISON TRANS. W/DIRECT MOUNT COOLER & SS COOLANT TUBES	183.00	
TRANSMISSION OIL MONITORING	UTOMRF	Standard	WITHOUT TRANSMISSION OIL MONITORING		
FRONT AXLE EQUIPMENT					
FRONT AXLE	2401500	Standard	18000# (8200 KG) MACK FXL18 (WIDE PIVOT CENTER) STRAIGHT SPINDLE/UNITIZED BEARINGS		
SPRINGS - FRONT	2442002	Option	MACK MULTILEAF 18000# (8200 KG) GROUND LOAD RATING	50.00	
FRONT AXLE BRAKES	2411105	Option	MERITOR "S" CAM TYPE 16.5" x 6" Q+		
BRAKE, FRONT	BF-DRCAS	Standard	FRONT BRAKE, CAST IRON BRAKEDRUM,		
FRONT AXLE BRAKE DUST SHIELD	FBRDUST	Option	FRONT BRAKES WITH DUST SHIELDS	26.00	
FRONT BRAKE ADJ. MANUFACTURE	FBADJ-AH	Standard	FRONT BRAKE ADJUSTMENT, AUTOMATIC HALDEX		
FRONT BRAKE CHAMBER MFG.	FBCM-MGM	Standard	FRONT BRAKE CHAMBER MANUFACTURER, MGM		
FRONT SPRING BIAS	UFSB	Standard	WITHOUT FRONT SPRING BIAS (EQUAL STIFFNESS L/R)		
HUB MATERIAL, FRONT	HUBF-BAS	Standard	BASIC MATERIAL HUB (STEEL/CAST IRON), FRONT		
SHOCK ABSORBER, FRONT	FSHABS	Standard	SHOCK ABSORBER, FRONT		
STEERING	2452116	Option	TRW TAS66+RCH60 POWER	754.00	

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LUBRICANTS, FRONT AXLE	LUBEF-PS	Standard	PETROLEUM/SYNTHETIC (50/50) OIL FRONT AXLE		
<b>REARAXLE EQUIPMENT</b>					
REAR AXLE - SINGLE	2521011	Option	26000# (11800kg) MACK RA26R DOUBLE REDUCTION	1,380.00	
REAR AXLE CASING WIDTH	RACWD-ST	Standard	REAR AXLE CASING WIDTH, STANDARD		
LUBE PUMP, REAR AXLE	URALUBEP	Standard	WITHOUT LUBE PUMP ,REAR AXLE		
CARRIER - REAR AXLE	0180151	Option	CRD151 (USED W/ MACK SINGLE AXLES)		
REAR AXLE RATIO	RAT5.81	Option	RATIO 5.81, REAR AXLE		
REAR SUSPENSION - SINGLE	2601005	Option	26000# MULTILEAF WHELPER	237.00	
SUSPENSION LEVELLING DEVICE	USUSPLEV	Standard	WITHOUT SUSP. LEVELLING DEVICE		
AIR SUSPENSION DUMP WARNING	UASD	Option	WITHOUT AIR SUSPENSION DUMP WARNING		
REAR SHOCK ABSORBER	URSHABS	Standard	WITHOUT SHOCK ABSORBER ,REAR		
TRANSVERSE TORQUE RODS, R SUSP	UTTROD	Standard	WITHOUT REAR SUSPENSION TRANSVERSE TORQUE ROD		
BRAKES - REAR	2531105	Option	MERITOR HEAVY DUTY "S" CAM 16.5'x7" Q+	-41.00	
BRAKE LINING MATERIAL DRIVE	BLMD-M3	Option	BRAKE LINING MATERIAL DRIVE, MERITOR / R403		
BRAKE, DRIVE, REAR	BR-DRCAS	Standard	BRAKE DRIVE, REAR, CAST IRON BRAKEDRUM		
REAR BRAKE ADJ MANUFACTURE	RBADJ-AH	Standard	REAR BRAKE ADJUSTMENT, AUTOMATIC HALDEX		
DRIVE AXLE BRAKE DUST SHIELD	DBRDUST	Option	REAR DRIVE BRAKES WITH DUST SHIELDS	26.00	
REAR BRAKE CHAMBER SIZE	RBCS3030	Standard	REAR BRAKE CHAMBER 30 / 30 SQ INCHES (SERVICE/EMERGENCY)		
REAR BRAKE CHAMBER	3009005	Standard	MGM TR-T, TAMPER-RESISTANT BRAKE CHAMBERS		
HUB MATERIAL, DRIVE	HUBD-PIS	Standard	IRON PRESET HUB, DRIVE, W/ INTEGRATED SPINDLE NUT		
LUBRICANTS, REAR AXLE(s)	LUBER-PE	Standard	PETROLEUM OIL IN REAR AXLE		
TRACTION DIFFERENTIAL	2540400	Option	DRIVER CONTROLLED INTER WHEEL DIFFERENTIAL LOCK FRT RR AXLE, MANUAL AIR VALVE W/WARNING LIGHT.	695.00	
ABS SENSOR & MODULATOR	ABS4S4M	Standard	ABS 4 SENSORS & 4 MODULATORS (FRONT & REAR AXLES)		
ANTILOCK BRAKE SYSTEM	6980007	Standard	BENDIX WITH TRACTION CONTROL		
BRAKE VALVE VERSION	BRV-V4	Standard	BRAKE VALVE VERSION, USA-BENDIX, WHERE POSSIBLE		
TRACTION CONTROL DISABLE	TDC-F	Standard	TRACTION CONTROL FULL DISABLE	151.00	
<b>FRAME EQUIPMENT/FUEL TANKS</b>					
WHEELBASE	2710159	Option	159"		
AF (OVERHANG)	3740063	Option	63"		
FRAME RAILS	2741028	Option	STEEL - 300MM X 90MM X 11.1MM -- (11.81" X 3.54" X 0.437" )	834.00	
RUST PROTECTION (for frame), ADDITIONAL(CA)	UTRUSTP	Standard	WITHOUT RUST PROTECTION		
FRAME INNER LINER	ULINER	Standard	WITHOUT LINER		
FRAME OUTER LINER (CA)	UFOLIN	Standard	WITHOUT FRAME OUTER LINER		
FRONT FRAME EXT. (BOLTED ON)	UFFE	Option	WITHOUT FRONT FRAME EXTENSION, BOLTED ON	-212.00	
FRONT FRAME LENGTH	FFL1793	Option	FRONT FRAME LENGTH 1793MM		
CROSSMEMBERS	2811055	Standard	BOC AND INTERMEDIATE(S) STEEL HD BACK-TO-BACK CHANNEL		
FRAME RAIL FREE SPACE	UFRF	Standard	WITHOUT FRAME RAIL CLEARANCE		

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AUX CROSSM. IN REAR OVERHANG	UACMR	Standard	WITHOUT AUXILILARY CROSSMEMBER IN REAR OVERHANG		
REAR CROSSMEMBER OPTIONS	RXM-STR	Standard	REAR CROSSMEMBER, STRAIGHT FRAME END (BASIC)		
MUDFLAP HANGERS, REAR AXLE	URMUDFLA	Standard	WITHOUT MUDFLAP HANGERS, REAR AXLE		
MUDFLAP TYPE, REAR AXLE	URMUDF	Standard	WITHOUT REAR AXLE MUDFLAP		
FRONT BUMPER	BUMP-SPE	Standard	BUMPER, STEEL PAINTED EXTENDED		
CAB GUARD, FRONT	UCGUARD	Standard	WITHOUT CAB GUARD		
GUARD, UNDER FRONT	UGUARD	Standard	WITHOUT GUARD		
TOWING DEVICE, FRONT	TDF2HOOK	Standard	TWO HOOKS TOWING DEVICE, FRONT		
TOWING COUPLING	UCOUPLIN	Standard	WITHOUT TOWING COUPLING		
TOWING DEVICE,REAR	TOWR2HK1	Option	TWO HOOKS FRAME MOUNTED VERSION 1	31.00	
TOOLBOX CHASSIS	UTOOLB	Standard	WITHOUT TOOLBOX CHASSIS		
FUEL LEVEL SENDER UNIT, LIQUID	FLS-BASL	Standard	BASIC FUEL LEVEL SENDER MOUNTED ON L.H TANK		
FUEL TANK - LH	288A066	Option	66 GALLON (250 L) 22" ALUMINUM, SLEEVED D-SHAPED		
FUEL TANK - RH	2900000	Standard	W/O RH FUEL TANK		
FUEL TANK POLISH OPTION	UFTNKPOL	Standard	WITHOUT FUEL TANK POLISH OPTION		
FILLER NECK SCREENS	8520000	Standard	W/O FILLER NECK SCREEN		
FUEL TANK CAP	FCAP-UL	Standard	NON-LOCKABLE FUEL TANK CAP		
CAB INSTEP VERSION	CSTEP-BA	Standard	CAB STEP,BASIC		
STEPS (BRIGHT) - FUEL TANK	2230000	Standard	W/O BRIGHT FINISH STEPS AND STRAPS PACKAGE		
ISOLATE TANK FROM FUEL SYSTEM	UHYTP	Standard	WITHOUT HYDRAULIC TANK POSITION		
QUARTER FENDERS	4640000	Standard	W/O QUARTER FENDERS		
<b>AIR/BRAKE</b>					
AIRTANK DRAIN VALVE	DRVA-MC	Option	MANUAL DRAIN VALVE, LANYARDS ON BRAKE SYS TANKS	34.00	
AIRTANK MATERIAL	ATANK-AL	Option	ALUMINUM AIRTANK	276.00	
AIR DRYER POSITION (CA)	ADP-STD	Standard	AIR DRYER POSITION STANDARD		
RELOCATE AIR RESERVOIRS	1419098	Option	OUTBOARD W/ (2) TANKS BEHIND FUEL TANK LHS		
AUXILLIARY AIRTANK	UAUXATNK	Standard	WITHOUT AUX. AIRTANK		
PARK BRAKE ALARM	UPARKAL	Standard	WITHOUT PARK BRAKE ALARM		
PARKING BRAKE VALVE	PBV-YR	Option	PARK BR VALVE, 1 YELLOW KNOB, ALL PARK & 1 RED, TRAILER PARK	59.00	
<b>ELECTRICAL</b>					
PARKING BRAKE LIGHTING	UPBRLIGH	Standard	WITHOUT PARKING BRAKE LIGHTING		
BACK-UP ALARM	UBUPALAR	Standard	WITHOUT BACK-UP ALARM		
DASH MOUNTED SWITCHES	AUXSW-6B	Option	WIRING FOR SIX AUX SWITCHES FOR CUST SELECTABLE SWITCHES	158.00	
AUX. FOG LAMP	UFOGLAMP	Standard	WITHOUT FOG LAMP		
MARKER/DIRECTIONAL SIGNAL	MARKD-NA	Standard	W/O MARKER/DIRECTIONAL SIGNAL OPTION		
ROOF MARKER LIGHT	3120010	Standard	(5) TRUCKLITE LED CHROME BULLET TYPE LAMPS		
WARNING LAMP	UWARNLIG	Standard	WITHOUT WARNING LAMP		
AUXILIARY LAMPS	AL-SPK3	Option	AUXILIARY LAMPS, SNOW PLOW PREP KIT 3, CONNECTOR INCL.	95.00	
AUXILIARY SPOTLIGHT (CA)	UASL	Standard	WITHOUT AUXILIARY SPOTLIGHT		
DAYTIME RUNNING LIGHTS	LOWB-DA7	Standard	DRL WHEN ENG RUNNING, PARK BRAKE OFF		

TAIL LAMPS	TL-MULTI	Standard	TAIL LAMP, MULTIPURPOSE		
WORK LIGHTS - CHASSIS MOUNTED	UCHAWL	Standard	WITHOUT WORK LIGHT, CHASSIS MOUNTED		
<b>TRAILER CONNECTIONS</b>					
5TH WHEEL ANGLE THICKNESS	U5WAT	Standard	WITHOUT 5TH WHEEL ANGLE THICKNESS		
TRAILER GLAD HAND COUPLINGS	TBC-NA	Option	TRAILER BRAKE CONNECTION		
TRAILER BRAKE VALVE	TRBRAKE1	Option	1 VALVE, TRAILER BRAKE	67.00	
TRAILER CONNECTION POSITION	TBCP-EOF	Option	TRAILER BRAKE CONNECTIONS POSITION, END OF FRAME	456.00	
TRAILER ACCESS PACKAGE	URDECK	Standard	WITHOUT REAR DECK		
ELECTRICAL RECEPT. AUX POWER	UERAP	Standard	WITHOUT ELECTRICAL RECEPT. AUX POWER		
TRAILER ELECTRICAL RECEPT	3210002	Option	SINGLE 7 PINS STD SAE TYPE, END OF FRAME	163.00	
TRAILER HOOKUP LIGHT	3220000	Standard	W/O TRAILER HOOK-UP LIGHT		
<b>PTO</b>					
POWER TAKE OFF CONTROL	PTOTC1PK	Standard	POWER TAKE OFF CONTROL PREP		
CRANKSHAFT ADAPTER	1830000	Standard	W/O FRONT ENGINE PTO DRIVE		
REAR ENGINE PTO	4160000	Standard	WITHOUT REAR ENGINE POWER TAKE OFF		
PTO TRANS NEUTRAL CONTRL CHECK	UPTOTNC	Standard	WITHOUT PTO TRANSMISSION NEUTRAL CONTROL CHECK		
BODY BUILDER INTERFACE	B830025	Standard	BODY LINK III W/CAB PASS-THRU		
<b>SPECIALTY EQUIPMENT</b>					
FRAME MODIFICATIONS	0150000	Standard	NO FRAME MODIFICATIONS PROVIDED		
AUXILIARY TRANSMISSION (CA)	UAUXTRAN	Standard	WITHOUT AUXILIARY TRANSMISSION		
AUX TRANSMISSION LOCATION (CA)	UATLOC	Standard	WITHOUT AUXILIARY TRANSMISSION LOCATION		
AUX TRANSMISSION COOLER (CA)	UATCOOL	Standard	WITHOUT AUXILIARY TRANSMISSION COOLER		
BREATHER FILTER (rear axle / transmission)	UBREF	Standard	WITHOUT BREATHER FILTER		
BLINDSPOT DETECTION ALARM	UPASDA	Standard	WITHOUT BLINDSPOT DETECTION ALARM DISABLE		
UNIQUE DECALS MACHINE DIRECTIV	USIGNSWC	Standard	WITHOUT DECALS		
<b>CAB INTERIOR (A THRU G)</b>					
GAUGES - UNIT OF MEASURE	1980001	Standard	U.S. UNITS (PREDOMINANT)		
GUAGE - PACKAGE, SECONDARY	2GP-BTPA	Option	2ND GA PKG W/BOOST PRESS,TRANS OIL TEMP,PYRO,APP AIR PRESS		
GAUGE - TRANSMISSION OIL TEMP	GOTR-BAS	Option	TRANSMISSION OIL TEMP GAUGE		
GAUGE - EXHAUST PYROMETER	GEXPYR	Option	EXHAUST PYROMETER GAUGE		
GAUGE - REAR AXLE OIL TEMP	UGOTRA	Standard	WITHOUT AXLE OIL TEMP GAUGE		
GAUGE - MANIFOLD PRESSURE	GPMFLD-E	Option	MANIFOLD PRESSURE GAUGE-ELECTRICAL		
GAUGE - AMBIENT TEMPERATURE	UTEMPAMB	Standard	WITHOUT GAUGE, AMBIENT TEMPERATURE		
TIME COUNTER (CA)	UTIMEC	Standard	WITHOUT TIME COUNTER		
SERVICE TRAILER BRAKE PRESSURE	BPAG-E	Option	BRAKE PRESSURE APPLICATION GAUGE, ELECTRONIC		
GAUGE - REAR AIR SUSP PRESSURE	UGPRAS	Standard	WITHOUT REAR AIR SUSPENSION GAUGE		
AUXILIARY PNEUMATIC OUTLET CAB	APNOUTC	Option	AUXILIARY PNEUMATIC OUTLET, IN CAB	65.00	

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AIR CONDITIONING/HEATER	1731002	Standard	BLEND AIR HVAC W/"ATC" TEMP REGULATION		
DRIVER AUXILIARY FAN	UCAFAN	Standard	WITHOUT AUXILIARY FAN		
DOME LAMP, INTERIOR	DL-BS2R	Standard	DOME LAMP, INTERIOR, 2 EACH SIDE, SWITCHES INCLUDED		
DASH INDICATOR - LAMP BODY OUT OF POS	DIL-BOOP	Standard	DASH INDICATOR LAMP, BODY OUT OF POSITION		
FIRE EXTINGUISHER	7860105	Option	5LB (ABC RATED) MOUNTED BETWEEN DRIVER SEAT BASE AND DOOR VALVE AIMED REARWARD	78.00	
FLOOR COVERING	1840007	Standard	POLYURETHANE FLOOR MAT WITHOUT REMOVABLE INSERTS		
<b>CAB INTERIOR (H THRU R)</b>					
INSTMNT CLUSTER	C520007	Standard	DEFAULT: ENGLISH, SPANISH, FRENCH		
LANGUAGE					
KEY TYPES FOR DOORS	KEY-BAS	Standard	ALL CHASSIS KEYED AT RANDOM		
DOOR OPENING OPTIONS	DOP-MAN	Standard	DOOR OPENING OPTION, MANUAL		
PERSONALIZED NAME PLATE	UPNPLATE	Standard	WITHOUT PERSONALIZED NAME PLATE		
AUDIO ACCOMMODATION	1746101	Standard	PREMIUM STEREO, AM/FM, CD-PLAYER, MP3, WEATHER BAND, BLUETOOTH		
ANTENNA - RADIO	ANR-CDL1	Standard	ANTENNA, RADIO, CAB MTD, BEHIND DOOR, LH, SHORT RUBBER		
ANTENNA - CB RADIO	UANTCB	Standard	WITHOUT ANTENNA, CB RADIO		
AUDIO SHUTOFF	AUDOFF	Standard	AUTOMATIC AUDIO SHUTOFF, REVERSE ENGAGED		
POWER LEADS	PWL5WH	Standard	POWER LEAD, 5WAY TYPE, HEADLINER MTD		
AUDIO SPEAKER LOCATION	SPK-IDM	Standard	SPEAKER LOCATION, IN DOORS, MIDDLE HIGH SIDE PANEL		
COMMUNICATION RADIO	UCRADIO	Standard	WITHOUT COMMUNICATION RADIO		
COM.RADIO PREP KIT (CB)	CBM-OPR	Standard	CB MOUNTING, OVERHEAD COMP, MOUNT PLATE, REMOVABLE		
AUXILIARY REAR WINDOW	AWIND-RF	Standard	AUX. REAR WINDOW - FIXED		
REAR WALL STORAGE COMPARTMENT	RWSTC-FI	Standard	REAR WALL STORAGE COMPARTMENT, FIXED		
REFLECTOR KIT	7840005	Option	EMERGENCY REFLECTOR KIT MOUNTED PARALLEL & CENTERED AGAINST BOC	39.00	
<b>CAB INTERIOR (S THRU Z)</b>					
INTERIOR TRIM LEVELS	0041110	Standard	STANDARD PACKAGE, STEEL GRAY (Package 11A)		
SEAT - DRIVER'S	1963100	Standard	MACK-AIR, HIGH BACK, 1 CHAMBER AIR LUMBAR		
SEAT COVERING - DRIVER'S	MAP1004	Standard	DRIVER'S SEAT - STEEL GREY VINYL		
SEAT PASSANGER'S	1973100	Option	MACK-AIR, HIGH BACK, 1 CHAMBER AIR LUMBAR	222.00	
SEAT COVERING - PASSENGER'S	MAQ1004	Option	PASSENGER'S SEAT - STEEL GREY VINYL		
SEAT SUPPORT, DUST COVER	USSDC	Standard	WITHOUT SEAT SUPPORT, DUST COVER		
SEAT ARMREST	ARMRE-DS	Option	SEAT ARMREST SINGLE, DRIV(DRIVER SEAT ONLY)	25.00	
SEAT BELT(S)	5929003	Option	LAP & SHOULDER (BOTH SEATS) ORANGE IN COLOR	62.00	
SEAT BELT REMINDER	USEATBR	Standard	WITHOUT SEATBELT REMINDER		
IGNITION TYPE	IGT-KEY	Standard	IGNITION TYPE, KEY		
STEERING WHEEL	1610020	Option	2 SPOKE URETHANE GRIP, GUNMETAL SPOKES, WITH SWITCHES	27.00	
WINDSHIELD TYPE	WIND-SP	Standard	SPLIT WINDSCREEN		
CAB GLASS	1459003	Option	HEATED TINTED WINDSHIELD, TINTED SIDE & REAR WINDOW (IF EQUIPPED)	487.00	

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WASHER RESERVOIR POSITION	WREP-BOC	Standard	WASHER RESERVOIR BACK OF CAB MOUNTED		
WINDSHIELD WIPERS	1489008	Option	2 SPEED ELECTRIC MOTOR W/INTERMITTENT FEATURE & ARCTIC WIPER BLADES	27.00	
<b>CAB EXTERIOR</b>					
AIR INTAKE GRILLE, FINISH	AIRG-BF	Option	AIR INTAKE GRILLE, BRIGHT FINISH		
HOOD LATCH, FINISH	HOODL-BL	Standard	HOOD LATCH FINISH, BLACK		
GRILLE	4000019	Standard	BLACK FINISH BARS W/O SURROUND RADIATOR MOUNTED		
DOOR WINDOW FRONT	AWIND-RB	Standard	AUX. WIN. DOOR ON RIGHT SIDE NON STG WHL POS. DEPEND		
MIRRORS - PROXIMITY	AMIR-CLO	Option	RECTANGULAR CONVEX ABOVE RH DOOR WINDOW	33.00	
GRAB HANDLES	5870102	Standard	BF EXTERIOR CAB GRAB HANDLES, BLACK GRAB HANDLE RH INTERIOR WINDSHIELD POST		
REAR CAB SUSPENSION	RCABS-A	Standard	REAR CAB SUSPENSION, AIR		
ROOF HATCH OR COOLER	URHATCH	Standard	WITHOUT ROOF HATCH		
HOOD HATCH	HHATCH	Option	HOOD HATCH		
HORN - AIR	1549014	Option	(2) MACK RECTANGULAR SINGLE TRUMPET, WITH SNOW SHIELDS, ROOF MOUNTED	118.00	
HORN - ELECTRICAL	HORN-E1S	Standard	1 SINGLE ELECTRIC HORN SINGLE TONE		
MIRRORS - EXTERIOR	1522401	Option	FLAT MIRROR - POLISHED ALUMINUM FINSH, HEATED, W/O LAMPS	150.00	
MIRRORS - CONVEX TYPE CAB DOORS	1539008	Option	BRIGHT FINISH, LH & RH, 8" DIAMETER HEATED CONVEX	48.00	
MIRROR - CONVEX HOOD & FENDER	15H0000	Standard	WITHOUT CONVEX TYPE		
SUN VISOR - EXTERIOR	1570001	Option	SUNVISOR,EXTERIOR,FIBERGLASS PAINTED	208.00	
<b>AERODYNAMIC DEVICES</b>					
ROOF FAIRING/SIDE SHIELDS	1590000	Standard	WITHOUT AERO AIDS		
<b>WHEELS &amp; TIRES</b>					
TIRES BRAND/TYPE - FRONT	9005488	Option	315/80R22.5 L GOODYEAR ENDURACNCE WHA (20400 lbs)		
GHG STEER TIRE CATEGORY (PAWS)	4WC-E1X	Option	GHG STEER TIRE CATEGORY, BASIC ROLLING RESISTANCE		
WHEELS - FRONT	5312246	Option	22.5x9.00 ACCURIDE STEEL DISC 10-HOLE HUB PILOTED (11 1/4"/286mm BC)	-30.00	
WHEEL FINISHING, FRONT	UWFF	Option	WITHOUT WHEEL FINISHING FRONT		
FRONT AXLE TIRE & WHEEL QUANTITY	FWT0002	Standard	TWO FRONT TIRES & WHEELS		
TIRES BRAND/TYPE - REAR	9015413	Option	12R22.5 H GOODYEAR G622 RSD (27120 lbs) (DRIVE ONLY)	2,332.00	
GHG DRIVE TIRE CATEGORY (PAWS)	4XC-G1X	Option	GHG DRIVE TIRE CATEGORY, OTHER (NON-SPECIFIED)		
WHEELS - REAR	3462356	Option	22.5x8.25 ACCURIDE ACCU-LITE STEEL DISC 10-HOLE HUB PILOTED, FIVE HAND HOLE (11 1/4" BOLT CIRCLE)	-200.00	
REAR DISC WHEEL:POLISH	2350000	Option	W/O REAR DISC WHEEL BRIGHT FINISH		
REAR AXLE TIRE & WHEEL QUANTITY	RWT0004	Standard	FOUR REAR AXLE TIRES & WHEELS		
DRIVE WHEEL STUDS	DSTUD-L	Standard	DRIVE WHEEL STUDS, LONG		
TIRE INFLATION VALVE	VALVESTD	Standard	TIRE INFLATION VALVE, STANDARD		
SPARE WHEEL	USPWT	Standard	WITHOUT SPARE WHEEL		
SPARE WHEEL CARRIER, POS	USPWCARR	Standard	WITHOUT SPARE WHEEL CARRIER		
HUB/WHEEL ISOLATOR FRONT	UHWIF	Standard	WITHOUT HUB/WHEEL ISOLATOR FRONT		

HUB/WHEEL ISOLATOR DRIVE	UHWID	Standard	WITHOUT HUB/WHEEL ISOLATOR DRIVE		
WHEEL NUT & FINISH, FRONT	WNFF-BAS	Standard	WHEEL NUT & FINISH BASIC, FRONT		
WHEEL NUT FINISH, REAR (CA)	WNFR-BAS	Standard	WHEEL NUT BASIC FINISH, REAR		
HYDRAULIC JACK	2820000	Standard	W/O HYDRAULIC JACK		
<b>COMMUNICATION SYSTEMS</b>					
FLEET TRIP MANAGEMENT	UFTMAN	Standard	WITHOUT FLEET TRIP MANAGEMENT DRIVER CONTROL		
<b>ENGINE ELECTRONICS</b>					
OIL PRESSURE, ENGINE SHUTDOWN	OPRESHUT	Standard	OIL PRESSURE, ENGINE SHUTDOWN		
COOLANT LEVEL, ENGINE SHUTDOWN	UCLEVSHU	Standard	WITHOUT COOLANT LEVEL ENGINE SHUTDOWN		
COOLANT TEMP, ENGINE SHUTDOWN	CTEMSHUT	Standard	COOLANT TEMP, ENGINE SHUTDOWN		
ENG.FAN CNTL MVG VHC.TIME SET	UFANCMT	Standard	WITHOUT ENG FAN CONTROL, MOVING VEHICLE, TIME SETTING		
ENG FAN CNTL, A/C ON, TIME SET	UFCACT	Standard	WITHOUT ENG FAN CONTROL, A/C ON, TIME SETTING		
LOW IDLE RPM ADJUSTEMENT	ULOWIADJ	Standard	WITHOUT LOW IDLE RPM ADJUSTMENT		
ENGINE IDLE ADJUST	UENID	Standard	WITHOUT ENGINE IDLE ADJUST		
SMART IDLE ELEVATED IDLE RPM TIME	IBC010	Standard	INCREASE 10 MINUTE MAXIMUM TIME		
IDLE S/D ABS TAMPER CHECK	ISDTC-E	Standard	IDLE SHUTDOWN ABS TAMPER CHECK, ENABLED		
ENGINE IDLE COOLDOWN	UEIDLEC	Standard	ENGINE IDLE COOLDOWN, DISABLE		
IDLE SHUTDOWN	UEIDLESD	Standard	ENGINE IDLE SHUTDOWN, DISABLE		
ENGINE IDLE SHUTDOWN TIME	UISD	Standard	WITHOUT IDLE SHUTDOWN TIME		
IDLE S/D IF WARM-UP TEMP	WTEMD38	Standard	38C DEG (100F), WARM UP TEMP DELAY		
IDLE S/D WARM-UP TIMER	WTIMD005	Standard	5 MIN. WARM UP TIME DELAY		
IDLE S/D IF EHT ACTIVE	UISDEHT	Standard	WITHOUT ENGINE IDLE SHUTDOWN TIME OVERRIDE IF EHT ACTIVE		
IDLE S/D IF PTO ACTIVE	UISDPTO	Standard	WITHOUT ENGINE IDLE SHUTDOWN TIME OVERRIDE IF PTO ACTIVE		
IDLE SHUTDOWN IF POWER > LIMIT	ISDOVTO	Standard	ENG IDLE SHUTDOWN TIME OVERRIDDEN IF TORQUE > THAN LIMIT		
IDLE SHUTDOWN CONTROL	UISSC	Standard	WITHOUT IDLE SHUTDOWN CONTROL		
EL HD THROTTLE,MAX ROAD SPEED	EHTR16	Standard	ELECTRONIC HAND THROTTLE, MAX ROAD SPEED, 16 KMH (10 MPH)		
EL HAND THROTTLE,MIN ENG SPEED	EHTM700	Standard	ELECTRONIC HAND THROTTLE, MIN ENGINE SPEED, 700 RPM		
EL HD THROTTLE,SPEED RAMP RATE	UEHTRR	Standard	WITHOUT ELECTRONIC HAND THROTTLE, SPEED RAMP RATE		
EL HD THROTTLE,SGL SPEED CNTRL	UEHTSSC	Standard	WITHOUT ELECTRONIC HAND THROTTLE, SINGLE SPEED CONTROL		
EHT, JUMP TO MIN ENG SPEED	UEHTJMIS	Standard	WITHOUT ELECTRONIC HAND THROTTLE, JUMP TO MIN. ENGINE SPEED		
<b>TRANSMISSION ELECTRONICS</b>					
TRANSMISSION PROTECTION	UTRAPROT	Standard	WITHOUT TRANSMISSION PROTECTION		
TRANSMISSION ELECTRONICS PACKAGE	7792231	Standard	DUMP/VOCATIONAL(223) - ALLOWS TRUCK TO BE PUT IN GEAR WITHOUT SERVICE BRAKE (FOR PAVING)		
TRANSMISSION ELECTRONIC SHIFTING PROPERTIES	MAV0000	Standard	W/O ALLISON FUELSENSE 2.0 PROGRAMMING		
<b>VEHICLE ELECTRONICS</b>					
CRUISE CONTROL	CRUISEC	Standard	CRUISE CONTROL		
CRUISE CONTROL, MAX SPEED	CCM105	Standard	MAX CRUISE, 105 KPH (65 MPH)		

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CRUISE CONTROL MIN SPEED	CCMI32	Standard	MIN CRUISE, 32 KPH (20 MPH)		
ENG BRK ENGAGE IN CRUISE	UBREC	Standard	WITHOUT ENG BRK ENGAGE IN CRUISE		
PEDAL RSL SETTING	PRSL101	Standard	101 KM/H PEDAL ROAD SPEED LIMITER (63MPH)		
LOW GEAR LIMITING FEATURE	ULGVLF	Standard	WITHOUT LOWER GEAR VEHICLE LIMITING FEATURE		
ROAD SPEED LIMITER SETTING	SPEED105	Standard	105 KM/H ROAD SPEED LIMITER(65 MPH)		
ROAD SPEED LIMIT CONTROL TYPE	RSL-NORM	Standard	WITH RSL CONTROL TYPE NORMAL		
MAXIMUM ENG SPEED AT 0 MPH	MESZ1000	Standard	1000 MAXIMUM ENGINE SPEED AT 0 MPH		
ACCELERATOR LIMITER	UALIM	Standard	WITHOUT ACCELERATOR LIMITER		
DETECTION SPEED SENSR TMPNRG	DSST-E	Standard	DETECTION OF SPEED SENSOR TAMPERING, ENABLE		
ENG TORQUE LIMIT,SPEED SENSOR	ETOL50ST	Standard	ENG TORQUE LIMITED TO 50%, IF SPEED SENSOR TAMPER DETECTED		
VEHICLE ACCELERATION LIMITING	ACCLF-D	Standard	ACCELERATION LIMITING FEATURE, DISABLED		
HIGH IDLE SPEED-UPR GRS FEATUR	EHISUG-D	Standard	ENGINE HIGH IDLE SPEED IN UPPER GEARS, DISABLED		
1ST RATIO FOR REDUCD HIGH IDLE	U1RHI	Standard	WITHOUT 1ST RATIO FOR REDUCED HIGH IDLE		
LAST RATIO FOR FULL HIGH IDLE	ULFHI	Standard	WITHOUT LAST RATIO FOR FULL HIGH IDLE		
DRIVER ID FUNCTION	DIDF-DIS	Standard	DRIVER ID FUNCTION, DISABLED		
DRIVER ID, RESET TIMER	UDIDRT	Standard	WITHOUT RESET DRIVER ID TIMER		
DRIVER ID, ALERT TIMER	UDIDAT	Standard	WITHOUT DRIVER ID ALERT TIMER		
CUSTOMER UNIQUE VEHICLE PARAM (CA)	C7C-Z1X	Standard	WITHOUT CUSTOMER UNIQUE VEHICLE PARAMETERS		
ENGINE OVERSPEED,ALL COND, LOG	EOSA2200	Standard	ENGINE OVERSPEED, ALL CONDITIONS, TIME LOG IF ABOVE 2200 RPM		
ENGINE OVERSPEED,FUELED, LOG	EOSF2100	Standard	ENGINE OVERSPEED, FUELED, TIME LOG IF ABOVE 2100 RPM		
VEHICLE OVERSPEED,ALL COND,LOG	VOSAC75	Standard	VEHICLE OVERSPEED,ALL COND, TIME LOG IF ABOVE 75MPH (121KMH)		
VEHICLE OVERSPEED, FUELED, LOG	VOSF70	Standard	VEHICLE OVERSPEED, FUELED, TIME LOG IF ABOVE 70MPH (113KMH)		
ENGINE IDLE DELAY TO LOG	EIDL02	Standard	ENGINE IDLE DELAY TO START LOG, 2 MIN		
PERIODIC TRIP LOG HOUR OF DAY	UPTLOGH	Standard	WITHOUT PERIODIC TRIP LOG, HOUR		
PERIODIC TRIP LOG DAY OF WEEK	UPTLOD	Standard	WITHOUT PERIODIC TRIP LOG, DAY OF WEEK		
PERIODIC TRIP LOG DAY OF MONTH	PTLOM01	Standard	PERIODIC TRIP LOG, DAY 1 OF THE MONTH		
SERVICE ALERT SYSTEM	USAS	Standard	WITHOUT SERVICE ALERT SYSTEM		
DRL OVERRIDE SW TIMED	UDRLOVER	Standard	WITHOUT DAYTIME RUNNING LAMP OVERRIDE SW		
DRL OVERRIDE SPEED THRESHOLD	UDRLOS	Standard	WITHOUT DRL OVERRIDE SPEED THRESHOLD		
<b>PTO ELECTRONICS</b>					
FAN ENGAGEMENT DUE TO PTO	UFANEPTO	Standard	WITHOUT FAN ENGAGEMENT DUE TO PTO		
TRANS PTO1 SPLITTER RANGE	UPTO1SR	Standard	WITHOUT TRANSMISSION PTO1 SPLIT GEAR RANGE		
PTO 1ST, SINGLE SPEED CONTROL	UPTO1SSC	Standard	WITHOUT PTO 1ST, SINGLE SPEED CONTROL		
PTO 1ST, MAX ROAD SPEED	U1PTOMXS	Standard	WITHOUT 1ST PTO, MAX ROAD SPEED		
PTO 1ST, SPEED RAMP RATE	U1PTORR	Standard	WITHOUT PTO 1ST, SPEED RAMP RATE		
PTO 1ST, ROAD SPEED LIMIT	U1PRSL	Standard	WITHOUT PTO 1ST, ROAD SPEED LIMIT		

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PTO 1ST,JUMP TO MIN ENG SPEED	U1PJMIS	Standard	WITHOUT PTO 1ST, JUMP TO MINIMUM ENGINE SPEED		
PTO 1ST, MINIMUM ENGINE SPEED	U1PMIES	Standard	WITHOUT PTO 1ST, MINIMUM ENGINE SPEED		
PTO 1ST,AUTO SET SINGLE SPEED	U1PTOASP	Standard	PTO 1ST, AUTO SET SINGLE SPEED, DISABLE		
PTO 2ND, SINGLE SPEED CONTROL	UPTO2SSC	Standard	WITHOUT 2ND PTO, SINGLE SPEED CONTROL		
PTO 2ND, MAX ROAD SPEED	U2PTOMXS	Standard	WITHOUT 2ND PTO, MAX ROAD SPEED		
PTO 2ND, SPEED RAMP RATE	U2PTORR	Standard	WITHOUT PTO 2ND, SPEED RAMP RATE		
PTO 2ND, ROAD SPEED LIMIT	U2PRSL	Standard	WITHOUT PTO 2ND, ROAD SPEED LIMIT		
PTO 2ND,JUMP TO MIN ENG SPEED	U2PJMIS	Standard	WITHOUT PTO 2ND, JUMP TO MINIMUM ENGINE SPEED		
PTO 2ND,AUTO SET SINGLE SPEED	U2PTOASP	Standard	PTO 2ND, AUTO SET SINGLE SPEED, DISABLE		
<b>PAINT</b>					
PAINT DESIGN	9503100	Standard	SINGLE COLOR		
PAINT TYPE	9240001	Standard	SOLID PAINT		
PAINT COLOR - FIRST COLOR	9442007	Standard	WHITE, P9188		
PAINT COLOR - SECOND COLOR	9451000	Standard	NO SECOND TRUCK COLOR PROVIDED; NO COLOR		
PAINT COLOR - THIRD COLOR	9461000	Standard	NO THIRD TRUCK COLOR PROVIDED; NO COLOR		
PAINT - CAB PAINT SYSTEM	9960002	Standard	PAINT - CAB, URETHANE CLEAR COAT		
CAB COLOR	MPB0944	Standard	SAME AS FIRST COLOR - CAB		
HOOD COLOR	MPD0944	Standard	SAME AS FIRST COLOR - HOOD		
CHASSIS FAIRING COLOR	9430000	Standard	WITHOUT CHASSIS FAIRINGS		
SUN VISOR COLOR	9661944	Option	SAME AS FIRST COLOR-SUN VIS	55.00	
MIRROR COVER COLOR	9400000	Standard	WITHOUT MIRROR COVER PAINT		
CHASSIS RUNNING GEAR	9512006	Standard	MACK BLACK (URETHANE)		
BUMPER	9589902	Standard	PAINT BUMPER SAME COLOR AS CHASSIS RUNNING GEAR		
FUEL TANK - ***NO INVENTED VARIANTS ALLOWED in the FUEL TANK PAINT FAMILY***	9590000	Option	W/O OPTIONAL FUEL TANK PAINT		
FRONT WHEEL PAINT	WPF-PCG	Option	FRONT WHEEL POWDER COAT, GRAY		
DRIVE WHEEL PAINT	WPD-PCG	Option	DRIVE WHEEL POWDER COAT, GRAY		
PAINTED DISC WHEELS, FRONT	9540000	Standard	WITHOUT PAINT		
PAINTED DISC WHEELS, REAR	9550000	Standard	WITHOUT PAINT		
SPOKE WHEELS-FRONT	9520000	Standard	WITHOUT OPTIONAL SPOKE WHEEL PAINT		
SPOKE WHEELS-REAR	9530000	Standard	WITHOUT OPTIONAL SPOKE WHEEL PAINT		
HUBS & DRUMS-FRONT	9629902	Standard	SAME AS CHASSIS RUNNING GEAR		
HUBS & DRUMS-REAR	9639902	Standard	SAME AS CHASSIS RUNNING GEAR		
<b>CALCULATED CODES - KAX</b>					
PROPCALC SELECTION	PROPCALC	Standard	YES, THE ORDER MUST BE CALCULATED		
AUTO ROUTING & CLIPPING, CENTER	ARC-CS	Option	AUTOMATIC ROUTING & CLIPPING PLACEMENT, CENTER SECTION		
<b>BASE WARRANTY &amp; PURCHASED COVERAGES</b>					
VEHICLE WARRANTY TYPE	8980003	Standard	HEAVY DUTY WARRANTY CLASSIFICATION		
BASIC CHASSIS COVERAGE	M501002	Standard	HEAVY DUTY STANDARD BASE COVERAGE 12 MONTHS/100,000 MILES (161,000 KM)		

ENGINE WARRANTY	M511003	Standard	CUMMINS ENGINES 8.9L (Contact Cummins for Standard Warranty and Extended Coverage Details)		
EMISSION COMPONENT COVERAGE	M521002	Standard	CUMMINS ENGINES (Contact Cummins for Standard Warranty and Extended Coverage Details)		
TRANSMISSION WARRANTY	M541010	Standard	ALLISON TRANSMISSIONS (Contact Allison Transmission for standard warranty and extended coverage data)		
CARRIER & AXLE HOUSING WARRANTY	M551002	Option	STANDARD MACK HEAVY DUTY COVERAGE 36 MONTHS / 350,000 (563,000 KM)		
AIR CONDITIONING WARRANTY	M561000	Standard	AIR CONDITIONING STANDARD COVERAGE (Sealed System Only) 12 MONTHS UNLIMITED MILEAGE		
CHASSIS TOWING WARRANTY	M571000	Standard	STANDARD NORMAL / HEAVY DUTY CHASSIS TOWING 90 DAYS OR 5,000 MILES		
ENGINE TOWING WARRANTY	M581000	Standard	STANDARD MACK ENGINE TOWING COVERAGE 24 MONTHS/250,000 MILES (402,000 KM)		
OMNITRACS FOR MACK TRUCKS PARTNERED SERVICES	M720000	Standard	WITHOUT OMNITRACS FOR MACK TRUCKS		
	M680000	Standard	W/O TELEMATIC SERVICE PACKAGE		

**Total:** **\$149,790.00**

**Total after Discount:** **\$ 103,355.10**

**Delivery Cost:** **\$ 200.00**

**ESCNJ Sell Price:** **\$ 103,555.10**

## Certification of Availability of Funds

This is to certify to the Mayor and Common Council of the City of Summit that funds for the following resolution are available:

Resolution Date: 3/1/2021  
Resolution Doc Id: 7611

Vendor: Gabrielli Kenworth of NJ, LLC  
2306 US Highway 130 N  
Dayton, NJ 08810

Purchase Order: 21-00354

Account Number	Amount	Account Description
C-04-32-013-00C-200	\$103,555.10	3213C DCS Replace SA Dump Truck w/plow
<b>Contract Total</b>	<b>\$103,555.10</b>	

Only amounts for the current Budget Year have been certified.  
Amounts for future years are contingent upon sufficient funds being appropriated.

Tammie L. Baldwin  
City Treasurer/CFO

**AUTHORIZE PURCHASE OF DUMP BODY, PLOW KIT, AND SPREADER SYSTEM -  
EDUCATIONAL SERVICES COMMISSION OF NJ COOPERATIVE PRICING SYSTEM -  
\$61,033.61**

BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

That, in accordance with the City Treasurer's certification of availability of funds in Account #C-04-32-013-00C-200, a copy of which is attached hereto and made a part of this resolution, pursuant to the Educational Services Commission of New Jersey Cooperative Pricing System contract #17/18-30, a purchase order in the amount of \$61,033.61 be issued to Reed Systems, LTD, 17 Edwards Place, PO Box 209, Ellenville NY 12428, for the purchase of a dump body, plow kit, and spreader system to complete the new Mack Dump Truck.

Dated: March 16, 2021

I, Rosalia Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



**DCS - Engineering Division**  
R - Capital Projects & Community Services

[www.cityofsummit.org](http://www.cityofsummit.org)

Meeting: 03/16/21 07:30 PM

## **RESOLUTION (ID # 7677)**

DOC ID: 7677

TO: Mayor and Common Council  
FROM: Aaron Schrager, City Engineer/ Acting DCS Director  
DATE: February 18, 2021

### **SUMMARY**

See attached memo from DPW Superintendent Michael Caputo.



# Memorandum

To: Aaron Schrager, Deputy Director  
 From: Michael Caputo, Superintendent of Public Works  
 Cc: File  
 Date: January 25, 2021  
 Re: 2021 Mack Granite Single Axle Dump Truck with Snow Plow (#43) Purchase Recommendation

The 2020 Capital Budget process approved funding for the replacement purchase of a single axle dump truck with snow plow by the Division of Public Works in support of its Roads Unit maintenance operations and emergency/winter storm response program. This recommendation is to purchase a new 2021 CH – 273A Mack Granite 42BR 4x2 chassis with an Everest 8 yard dump body, and hydraulic spreader controls as a replacement for the 2009 International Work Star (#43) currently in the DPW equipment inventory.

The new vehicle will be used primarily by the Roads Unit as a dump truck for paving, patching, concrete tasks and for towing the unit's equipment trailers and hauling various debris to end markets. It will also be used in conjunction with other DPW units as a primary district snow plow vehicle in support of division roadway snow removal operations.

The total vehicle purchase (Cab/chassis, dump body, spreader system, plow), will cost a total of \$164,588.71.

- The 2021 CH – 273A Mack Granite 42BR 4x2 chassis, will be purchased from Gabrielli Truck Sales, 80 Green Pond Road. Rockaway, NJ. 07660 via ESCNJ #17/18-30, for a total cost of \$103,555.10
- The hydraulic spreader control system, plow kit, and Everest 8-yard dump body will be fabricated be Reed Systems LTD. 17 Edwards Place, Ellenville, NY. 12428 via ESCNJ #17/18-30, for a total cost of \$61,033.61.

Funding for this purchase is provided in the following capital account:

- Capital Account # C-04-32-013-00C-200

Additional funds from this account, (if applicable), will be used to outfit the new truck with a two-way mobile radio, additional emergency work lighting, and other snow plow components after delivery of the new vehicle.

I recommend the purchase of this, 2021 CH – 273A Mack Granite 42BR 4x2 chassis with an Everest 8 yard dump body, plow kit, and hydraulic spreader control system as specified, with the cost of \$164,588.71.

Please contact me with any questions.

## Certification of Availability of Funds

This is to certify to the Mayor and Common Council of the City of Summit that funds for the following resolution are available:

Resolution Date: 3/16/2021  
Resolution Doc Id: 7677

Vendor: Reed Systems, LTD  
PO Box 209  
Ellenville, NY 12428

Purchase Order: 21-00532

Account Number	Amount	Account Description
C-04-32-013-00C-200	\$ 61,033.61	3213C DCS Replace SA Dump Truck w/plow
<b>Contract Total</b>	<b>\$ 61,033.61</b>	

Only amounts for the current Budget Year have been certified.  
Amounts for future years are contingent upon sufficient funds being appropriated.

*Tammie L. Baldwin*  
City Treasurer/CFO

# CONFIRMATION #: BD-706



<https://www.escnj.us>

New Jersey State approved Co-op # 65MCESCCP

Trucks – 26,000 lbs. Gross Vehicle Weight (GVW) or greater Bid #ESCNJ 17/18-30,

Term: 3/23/18 – 3/22/21

2/11/2021

**CITY OF SUMMIT**                   **REED SYSTEMS, LTD**  
 17 EDWARDS PL  
 ELLENVILLE, NY 12428  
 (845)647-3660

**REED SYSTEMS**

QUANTITY:	PART #	DESCRIPTION:	LIST PRICE:	COST:	
1	11A1995	MR12SS3039-H1 HT Floor	\$ 30,385.00	\$ 21,269.50	EVEREST
1	2A0580	T110U4.5SA3 D/A HOIST CYLINDER "H1" TYPE (9'-12')	\$ 4,067.00	\$ 2,846.90	
1		"CS" STYLE CYLINDER (9'-12')*	\$ 1,125.00	\$ 787.50	
1	11A1011	24" MS/MR/KB cab guard	\$ 298.00	\$ 208.60	
1		SS grip strut walk rail	\$ 1,656.00	\$ 1,159.20	
1		MS/MR/KB Lever type coal door	\$ 604.00	\$ 422.80	
2	11A2396	installed tarpmaster 400 4 Spring Wind	\$ 698.00	\$ 977.20	\$ 1,396.00
1	64171	Deflector System with Tension bow	\$ 2,316.00	\$ 1,621.20	ROLL-RITE
1	83160	16' Premium Vinyl Tarp	\$ 331.00	\$ 145.60	
1		STANDARD ONSPOT CHAIN SYSTEMS	\$ 1,785.00	\$ 1,249.50	ON SPOT
1		. Extreme Duty Option	\$ 210.00	\$ 231.70	
1		Hydraulic Oil, Hoses, Fittings	\$ 2,898.00	\$ 2,028.60	REED
1		LED 7-INCH HEATED HEADLAMP			
1	80990	SNOW PLOW KIT	\$2,290.97	\$916.38	TRUCK-LITE
		Barracuda Electric Spreader/Plow/Hoist Controls with EZ Spread Spreader Controller, Armrest			
1	OPTION #3	Mount, 61CC Pump, hydraulic tank	\$14,311.00	\$ 10,017.70	CIRUS
6	SL65AO	LIGHT,STROBE,6in OVAL	\$47.70	\$200.34	BUYERS
2	5626324	LIGHT,6.5in OVAL,BACK-UP	\$43.70	\$61.18	30%

2	5626520	LIGHT,6.5in,OVAL,STOP/TURN/TAIL	\$21.85	\$30.58
7	5622514	LIGHT,2.5in RD,MARKER,4 LED,RED	\$7.10	\$34.79
1	5601100	BOX,JUNCTION,ELECTRICAL,PLASTIC	\$10.90	\$7.63
2	1492115	LIGHT,FLOOD,12-24 VDC, 6	\$48.50	\$67.90
1	B95	B95 B/UP/BODY UP LIMITSWITCH	\$28.75	\$20.13
1	BA0972	BACK UP ALARM, 97DB,	\$28.88	\$20.22
1	5622133	A LIGHT,2in,LICENSE PLATE,12V,2-	\$8.80	\$6.16
1	1809027A	HITCH PLATE KIT, 3/4in THK	\$559.90	\$391.93
1	BP200	PINTLE HOOK,SWIVEL,25 TON	\$244.84	\$171.39
1	8620	HARDWARE KIT, PINTLE HOOK MN	\$10.40	\$7.28
1	TC1007	CONNECTOR,TRAILER,7 WAY	\$9.98	\$6.98
1	TC1007B	BOOT,TRAILER CONNECTOR,RUBBER	\$1.40	\$0.98
2	B40LXP	MUD FLAP 3/8in EX. HD PLAIN	\$64.23	\$89.92
1	405SS	BRACKET, ANTI-SAIL,	\$119.75	\$83.82
145		HOURS OF LABOR	\$110.00	\$15,950.00
			TOTAL: \$ 61,033.61	

**AUTHORIZE SUBMISSION OF GRANT APPLICATION AND EXECUTION OF GRANT  
AGREEMENT - UNION COUNTY 2021 INFRASTRUCTURE AND MUNICIPAL AID  
ENGINEERING PROJECT**

BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

1. That the appropriate city officials be and they are hereby authorized to submit a 2021 Union County Infrastructure and Municipal Aid Grant application to the Union County Board of County Commissioners to provide funding assistance for the Butler Parkway Improvement Project with a cost of \$707,456.50 and a matching grant request of \$200,000.
2. That the Mayor, City Administrator, City Clerk and or City Treasurer are hereby authorized to sign the grant and grant agreement, subject to the review and approval of the City Solicitor, on behalf of the City of Summit.
3. That their signature constitutes acceptance of the terms and conditions of the grant agreement and approves the execution of the grant agreement.

Dated: March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



## **RESOLUTION (ID # 7716)**

DOC ID: 7716

TO: Mayor and Common Council  
FROM: Rick Matias, Assistant Engineer  
DATE: February 22, 2021

### **SUMMARY**

Union County is once again offering a grant opportunity to its 21 municipalities. The total available funding is \$1,500,000.00 and the process is similar to the previous five (5) programs that have been offered since 2015. If awarded, the funding must be utilized by year's end and matching funds are required by the municipality. The City was previously awarded a total of \$505,000.00 collectively for the last five (5) years.

At this time, the Engineering Division would like to submit the Butler Parkway Improvement Project for consideration to Union County. The design for this 2020 Capital Project has been completed and the project has already been bid and awarded. This meets the County's requirements that projects should be shelf-ready and able to be constructed this year. This project will rehabilitate the pavement, curbing and drainage along Butler Parkway that abuts 35 residential properties, 1 school, recreation facilities, parkland. The project also begins and ends with Union County Operated Roadways. The bid award for the project is \$707,456.50. Matching funding for this project is in place from 2020 capital funding. Any additional funding to offset this project would be welcomed assistance.

2021

# Infrastructure and Municipal Aid Grant Application



A Service of the Union County  
Board of County Commissioners

Alexander Mirabella, Chairman  
Rebecca L. Williams, Vice Chair

Angela R. Garretson  
Sergio Granados  
Christopher Hudak  
Bette Jane Kowalski  
Lourdes M. Leon  
Kimberly Palmieri-Mouded  
Andrea Staten

February 22, 2021  
Phone (908) 527-4087

## Program Objective

As a result of the overwhelming success of the 2015 through 2020 Union County Infrastructure and Municipal Aid grant program, the Union County Board of County Commissioners has decided to offer it again this year. A total of \$1,500,000.00 will be made available to the County's twenty-one municipalities. This grant is made possible through proceeds of the sale of Runnels Hospital.

This grant program has a goal of providing assistance that will stimulate the development of public projects of economic, social, transportation and governmental importance to local municipalities.

The Infrastructure and Municipal Aid grant is a matching grant. It will assist municipalities with projects being undertaken in the 2021 calendar year.

Some examples of projects eligible for this grant are:

- Downtown Development Projects
- Economic Development Plans
- Large and Small Scale Construction Projects
- Engineering and Architectural Plans
- General Financing of Construction Projects/Bond Insurance
- Community Enhancement Projects
- Master Plans/Feasibility Studies/Transportation Plans
- Road Work, including pothole repair and structural enhancements

## Program Timelines and Grant Information

1. Each of the twenty-one municipalities may apply for one or more projects.
2. Projects must be current initiatives, and all funding awarded must be incurred and expended by **December 31, 2021**.
3. A separate application must be submitted for multiple projects. Multiple projects should be ranked in priority order.
4. The application period will be limited to 30 days, commencing on **February 22, 2021** and concluding on **March 23, 2021**.
5. The review and selection period will follow, and award notification will occur within 30 days of the submission deadline. Grant projects accepted will receive a written grant commitment in the form of a letter from the Union County Board of County Commissioners. A formal Grant Agreement between the County of Union and the Municipality will follow.
6. Projects will be chosen based on need, scope, population served and readiness to proceed.
7. Funds awarded through this grant must be matched dollar for dollar by the municipality. All matching funds must be specifically related to the proposed project. It is critical to note that all matching funds must be incurred and expended in **Calendar Year 2021**.
8. Matching dollars may come from various sources, such as in-kind services, municipal budget, donor, State of New Jersey or other federal and state aid. These sources must be listed on the original grant application to qualify as matching funds.
9. Matching dollars may not come from any other county source of funding.
10. Grantees must adhere to the proposed project timelines. The grant period commences when the Union County Office of County Counsel executes the contracts.
11. All grant applications will be reviewed by the County Commissioners Fiscal Standing Committee, and are subject to final approval by the County Commissioners Fiscal Standing Committee in addition to a vote by the full body of the Union County Board of County Commissioners.
12. The funding request cannot exceed 50% of the total project cost, and cannot be used for staff or municipal salaries.

## Certification of Matching Funds

I, Tammie Baldwin, the Chief Financial Officer for

City of Summit (Municipality) certify available matching funds in the amount of

\$ 707,456.50

in compliance with the 2021 Union County Infrastructure and Municipal Aid Grant Program.

Signature

Date

## Chief Financial Officer's Information:

Full Name:

Tammie Baldwin

Phone

Number: 908-522-3601

E-Mail

Address: tbaldwin@cityofsummit.org

## Certification of Application

I, Michael Rogers (Mayor or Business Administrator only)

hereby certify that the information provided within this application form is complete and true to the best of my knowledge.

Signature

Date

**Mayor or Business Administrator Information:**

Full Name:	Michael Rogers
Phone Number:	908-522-3600
E-mail Address:	mrogers@cityofsummit.org

**Matching Fund Details:**

Please provide details of all sources of matching funds along with corresponding municipality account numbers.

C-06-29-013-00A-000	\$100,000	Sanitary Sewer Improvements
C-04-31-091-00E-160	\$35,000	Traffic Calming
C-04-31-066-00E-110	\$90,000	Pedestrian Safety
C-04-32-013-00D-100	\$50,000	Drainage
C-04-32-013-00E-000	\$432,456.50	Roadway Improvement
Total	\$707,456.50	

## 2021 Infrastructure and Municipal Aid Grant Application

Municipality:	City of Summit	
Mailing Address:	512 Springfield Avenue, Summit NJ 07901	
Name of Project:	Butler Parkway Improvement Project	
Project Contact Person:	Rick Matias, Acting City Engineer	
Project Contact's Phone Number:	908-273-6404	
Project Contact's Fax Number:	908-608-1214	
Project Contact's E-mail Address:	rmatias@cityofsummit.org	
Federal Identification Number:	22-6002329	
Fiscal/Calendar Year:	2021	
Finance Officer's Full Name:	Tammie Baldwin	
Finance Officer's Contact Information:	908-273-6405	

As a representative of the City of Summit (Municipality),  
I hereby authorize the project submitted for this proposed 2021 Infrastructure and Municipal Aid grant.

--	--

Signature

--

Date

--	--

Full Name (print)

--

Date

\$ 707,456.50	\$ 200,000	\$ 507,456.50
Total Project Cost	Requested Grant Amount:	Matching Dollar Amount

## Project Description and Summary:

Please attach additional pages as needed and include architectural and engineering plans, if appropriate.

Project Description and Summary should include the following information:

- Project name(s).
- Exact location(s) of project(s).
- Project timeline including anticipated start date and anticipated completion date.
- Specific anticipated accomplishments/outcomes.

Please note: A separate application must be submitted for multiple projects. Multiple projects must be ranked in priority order.

For the Union County 2021 Infrastructure and Municipal Aid Grant Application, the City of Summit respectfully requests funding for the Butler Parkway Improvement Project.

The Butler Parkway Improvement Project is a key infrastructure improvement to the City of Summit. The project includes the replacement of curbing, addition of sidewalk, repair of storm and sanitary sewer structures, milling of the road and paving of the road.

The project totals 0.67 miles and begins at Morris Avenue and extends to River Road. The project is a key infrastructure improvement for the City and for Union County as both Morris Avenue and River Road are Union County operated roadways, meaning Butler Parkway intersects with Union County Roads at both ends.

The roadway also includes thirty five (35) private residences, one (1) commercial business, a Summit Public Elementary School, a Summit Recreation Facility and the Summit Historical Society. Additionally, the roadway also serves a local park/walking trail along the Martin's Brook. Butler Parkway is a key artery for the City and its residents as a major connection thoroughfare for various landmarks and civic engagement locations.

The City is seeking to improve Butler Parkway in its continuing efforts to improve its road infrastructure. The existing roadway was built between 1949 and 1951 in various stages of development and has not had a major road reconstruction or preservation project since.

Importantly, the current roadway width is forty (40) linear feet with no sidewalk. Portions of the Street are designated as school walking routes and with the various civic engagement opportunities along the road, pedestrians are commonly seen walking in the street. The project includes the addition of sidewalks along the residential side to better accommodate pedestrian traffic.

## Conditions of Award

1. All recipients of grant dollars will be required to post signage acknowledging the County of Union's participation, dependent upon the type of project funded. Each will be discussed prior to confirmation of Grant Agreement between the County of Union and the Municipality.
2. All recipients of grant dollars will be subject to monitoring visits by the Union County Board of County Commissioners staff.
3. All recipients of grant dollars shall be required to enter into an agreement prepared by the Union County Office of County Counsel. Said agreement shall provide that all funding provided through this grant shall be dedicated to the improvement of approved projects in said municipality.
4. Recipients will submit to the County a monthly grant work sheet which will include an update of the progress of the project(s), monthly expenditures including funding sources and account numbers, and an updated estimated completion date of the project(s).
5. Should it be determined by the County that funds granted pursuant to this agreement are not being so dedicated by the applicant, and then in that event, the County will require reimbursement of all amounts so granted. This provision applies to any present or future violations.

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### Submission:

County of Union  
Attn: Kathleen M. Addessa  
Union County Administration Building, 6th Floor  
Department of Economic Development  
10 Elizabethtown Plaza  
Elizabeth, New Jersey 07207

**Submission Date: March 23, 2021**

**AUTHORIZE SUBMISSION OF GRANT APPLICATION - NEW JERSEY AMERICAN  
WATER COMPANY ENVIRONMENTAL GRANT PROGRAM AND EXECUTE AGREEMENT**

WHEREAS, the New Jersey American Water Company Environmental Grant Program provides support for new or existing community-based environmental projects that improve, restore, conserve, protect, or educate about watersheds, surface water, and groundwater supplies; and

WHEREAS, the City of Summit Environmental Commission is seeking opportunities to enhance the quality of the City's environment and natural resources;

NOW THEREFORE BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

1. That the Environmental Commission is hereby authorized to submit an application to the New Jersey American Water Environmental Company Grant Program in an amount not to exceed \$10,000.00; and
2. That no matching funds required for this grant.
3. That the Chair of the City of Summit Environmental Commission be and is hereby authorized to sign the grant agreement on behalf of the City of Summit, subject to the review and approval of the City Solicitor.
4. That the Environmental Chair's signature constitutes the acceptance of the terms and conditions of the grant agreement and approves the execution of the grant agreement.

Date: March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



## **RESOLUTION (ID # 7708)**

DOC ID: 7708 A

TO: Mayor and Common Council

FROM: Aaron Schrager, City Engineer/ Acting DCS Director

DATE: February 22, 2021

### **SUMMARY**

Through its Environmental Grant program, New Jersey American Water provides support for new or existing community-based environmental projects that improve, restore, conserve, protect, or educate about watersheds, surface water, and groundwater supplies. Projects must be a new or innovative program for the community or serve as a significant expansion to an existing program. Eligible activities include: watershed cleanup, reforestation efforts, biodiversity projects (i.e. habitat restoration, wildlife protection), streamside buffer restoration projects, wellhead protection initiatives, hazardous waste collection efforts, and surface or groundwater protection education (i.e. designing and providing workshops for citizens and local officials). Projects must include no less than two additional partners. The grant program offers a \$10,000.00 maximum award, with four awards expected. The program's seven-month project period will begin on May 1, 2021. There are no matching funds required for this grant opportunity.

The City of Summit Environmental Commission is applying to the New Jersey American Water Environmental Grant Program to install a rain garden at the Summit Community Center, located on 100 Morris Avenue. The proposed project will also involve reforestation and native grass plantings on the slopes and meadow adjacent to the Community Center building. This project will also feature an educational and outreach component to engage the public in topics related to groundwater protection, environmental stewardship, and sustainability. The Environmental Commission will apply for a grant in an amount not to exceed the maximum award amount of \$10,000.00.



AMERICAN WATER

# ENVIRONMENTAL GRANT PROGRAM

## APPLICATION COVER PAGE

(Please attach to front of proposal)

Projects spanning time period May 1, 2021 through November 30, 2021.

### Project and Applicant Information

Lead Organization \_\_\_\_\_

Organization type (check one):  Municipality  Non-profit [501(c)(3)]  School  
 Other (please specify) \_\_\_\_\_

Project Title (10 words or less) \_\_\_\_\_

Check appropriate category:  Watershed Protection  Project Source Water Protection Project

Project description: (Brief, two to three sentence summary of project's expected, measurable outcomes.)  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Amount of Funding Requested:  
 (Maximum grant amount: \$10,000)

\$ \_\_\_\_\_

If accepted, please name the organization to whom payment  
 should be made: \_\_\_\_\_

Project Leader \_\_\_\_\_

**Partners** (Organization name only):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Address \_\_\_\_\_

City \_\_\_\_\_

State \_\_\_\_\_ Zip \_\_\_\_\_

Phone \_\_\_\_\_

E-mail \_\_\_\_\_

Website \_\_\_\_\_

Name of watershed/ stream/ river on which project focuses \_\_\_\_\_

Geographic location of waters (municipalities and counties)  
 \_\_\_\_\_

Population \_\_\_\_\_

Applications must be postmarked by **March 31, 2021** and mailed to your local coordinator.



AMERICAN WATER

# ENVIRONMENTAL GRANT PROGRAM

## BUDGET SUMMARY

(Please attach to front of proposal)

Projects spanning time period May 1, 2021 through November 30, 2021.

### Budget Summary

Project Title \_\_\_\_\_

Project Leader \_\_\_\_\_

Organization with fiscal responsibility \_\_\_\_\_

### Expenditure Categories for Environmental Grant

Spending Detail (Please be as complete and specific as possible.)	Grant Funds Requested	Other Funds* Funding from other sources for proposed project, if any.	In Kind Contributions	Total Budget (the sum of Columns 2 - 4)
	\$	\$	\$	\$
	\$	\$	\$	\$
	\$	\$	\$	\$
	\$	\$	\$	\$
	\$	\$	\$	\$
	\$	\$	\$	\$
	\$	\$	\$	\$
	\$	\$	\$	\$
	\$	\$	\$	\$
	\$	\$	\$	\$
	\$	\$	\$	\$
	\$	\$	\$	\$
	\$	\$	\$	\$
<b>TOTAL</b>	\$	\$	\$	\$

\*If there are other funds being used for this project, please list the agency or organization providing the funding.

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Applications must be postmarked by **March 31, 2021** and mailed to your local coordinator.

Resolution (ID # 7720)  
March 16, 2021

**AUTHORIZE ASSIGNMENT OF CONTRACT AND AMEND INDEMNIFICATION  
LANGUAGE - 2021 CONSULTANT ENGINEERING SERVICES**

WHEREAS, on December 15, 2020, Common Council adopted resolution #39600 awarding a one-year contract to Maser Consulting, Inc., for 2021 Consultant Engineering Services - Traffic, Survey, and General, not to exceed \$100,000.00, and

WHEREAS, on January 27, 2021, the City of Summit was formally advised that Maser Consulting, Inc. is in the process of changing its name to Colliers Engineer & Design, Inc. and included the necessary documents to effect the name change, without any changes to either parties' rights, remedies, duties, and/or insurance coverages under Maser's existing contract, and

WHEREAS, on January 19, 2021, after reviewing the contract sent for execution which includes the City's adopted Minimum Standard Insurance Requirements, Maser Consulting, Inc. also submitted a request to add language to one paragraph of the indemnification language identified with underscoring below:

Vendor will indemnify and hold harmless the CITY, its officers, agents, and employees, from all claims, suits or actions and damages or costs of every name and description to which the CITY may be subjected or put by reason of injury to the person or property of another, or the property of the CITY, to the extent resulting from negligent acts or omissions on the part of the vendor, the vendor's employees, agents, servants or subcontractors in the delivery of materials and supplies, or in the vendor's or subcontractor's negligent performance of the work under this Agreement.

WHEREAS, the Purchasing Agent recommends approving the assignment of the contract to Colliers Engineering & Design, Inc. and accepting the requested changes to the indemnification language which have been reviewed by the City Solicitor and Risk Manager.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

1. That City of Summit contract with Maser Consulting, Inc. for 2021 Consultant Engineering Services - Traffic, Survey, and General, be and it is hereby assigned to Colliers Engineering & Design, Inc., 400 Valley Road, Suite 304, Mount Arlington, NJ 07856, with all the same terms and conditions of the original contract.
2. That the indemnification language in the contract be amended to include the language requested by Maser Consulting, Inc. as described above.
3. That this resolution shall become effective upon adoption and retroactive to services performed for the City as of January 1, 2021.

4. That this resolution shall be incorporated and become a part of the contract to be executed in the name of Colliers Engineering & Design, Inc., effective January 1, 2021 through December 31, 2021, which includes all of the original terms and conditions of the original contract awarded to Maser Consulting, Inc. as well as the amended indemnification language.

Dated: March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



**Purchasing**  
R - Capital Projects & Community Services

[www.cityofsummit.org](http://www.cityofsummit.org)

Meeting: 03/16/21 07:30 PM

## **RESOLUTION (ID # 7720)**

DOC ID: 7720

TO: Mayor and Common Council  
FROM: Michelle Caputo, Qualified Purchasing Agent  
DATE: February 22, 2021

### **SUMMARY**

**Purchasing Agent**

# Memo

**To:** Mayor and Common Council  
**From:** Michelle Caputo  
**Date:** 3/8/21  
**Re:** 2021 Consulting Engineering Services  
Assignment of Contract and Amend Indemnification Language

On December 15, 2020, Common Council adopted resolution #39600 awarding a one-year contract to Maser Consulting, Inc., for 2021 Consultant Engineering Services – Traffic, Survey, and General, not to exceed \$100,000.00.

The City was aware through various conversations that Maser Consulting, Inc. was going through a change in ownership to Colliers Engineering & Design, Inc. and was formally advised of the change on January 27, 2021. Maser/Colliers provided the necessary paperwork for the City to consider and approve the name change, and advised that there would be no changes to either parties' rights, remedies, duties, and/or insurance coverages under Maser's existing contract.

Concurrently, the City had also received a request from Maser Consulting, Inc. to make minor changes to the City's indemnification language that is included in the contract. The changes have been reviewed by both the City Solicitor and Risk Manager.

A resolution is requested authorizing the assignment of 2021 Consultant Engineering Services – Traffic, Survey, and General from Maser Consulting, Inc. to Colliers Engineering & Design, Inc. and approving the requested indemnification language changes.

Thank you.



Engineers  
Planners  
Surveyors  
Landscape Architects  
Environmental Scientists

400 Valley Road, Suite 304  
Mount Arlington, NJ 07856  
T: 973.398.3110  
F: 973.398.3199  
[www.maserconsulting.com](http://www.maserconsulting.com)

January 27, 2021

**VIA EMAIL**

Aaron Schrager, P.E., C.M.E, P.P., Director  
Department of Community Services  
City of Summit  
512 Springfield Avenue  
Summit, NJ 07901  
[aschrager@cityofsummit.org](mailto:aschrager@cityofsummit.org)

Re: **Name Change**  
Maser Consulting, Inc. to Colliers Engineering & Design, Inc.

Dear Mr. Schrager:

As you know, Maser is currently in the process of changing its name to “Colliers Engineering & Design, Inc.” in order to strengthen our new collaboration with The Colliers Group, which will provide you with an even broader range of professional services to help meet your needs and goals. This is an ongoing process for our firm, and with 35 offices across 13 States and active projects in 46 States overall, this will take some time to complete. We are committed to making it as easy as possible for the City of Summit to do what is needed to make these changes to your systems and processes.

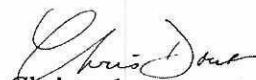
Attached to this email are a few documents to help get this started. We have included (1) NJ approvals for our name change and our “doing business as” trade name certificate (NJ is the State in which we are incorporated); and, (2) our updated W9 form showing no change to our FEIN.

An updated Certificate of Insurance, identifying all applicable parties under our Agreement(s), will be provided shortly. There are NO other changes being made. Please let us know what else you will need from us to finalize this name change on your end with your contract, procurement, and/or accounting teams.

Thank you in advance.

Very truly yours,

**COLLIERS ENGINEERING & DESIGN, INC.  
DBA MASER CONSULTING**

  
Christopher Dour, P.E. P.P.  
Project Manager

CD/jb

Maser Consulting will be known as Colliers Engineering & Design in 2021



Aaron Schrager  
City of Summit  
January 27, 2021  
Page 2 of 2

Attachments

cc: Rick Matias, PE, CME, CFM, City Engineer ([rmatias@cityofsummit.org](mailto:rmatias@cityofsummit.org))  
Lori Toth, PE, CME, Assistant Engineer ([ltoth@cityofsummit.org](mailto:ltoth@cityofsummit.org))  
Chris Nicola, Planning/Zoning Board Secretary ([cnicola@cityofsummit.org](mailto:cnicola@cityofsummit.org))  
Christa Anderson, Zoning Officer ([canderson@cityofsummit.org](mailto:canderson@cityofsummit.org))  
Michelle Caputo, QPA, RPPS, RMC, Purchasing Agent ([mcaputo@cityofsummit.org](mailto:mcaputo@cityofsummit.org))

R:\Projects\Summit General\2021 Contracts\210127\_cd\_schrager\_Colliers Name Change\_SG.docx



Engineers  
Planners  
Surveyors  
Landscape Architects  
Environmental Scientists

**Corporate Headquarters**  
331 Newman Springs Road, Suite 203  
Red Bank, NJ 07701  
T: 732.383.1950  
F: 732.383.1984  
[www.maserconsulting.com](http://www.maserconsulting.com)

**RE: Name Change**

**Maser Consulting Inc. -to- Colliers Engineering & Design, Inc.**  
**FEIN: 22-2651610**

As Maser Consulting (“Maser”) continues to grow and move forward with our new collaboration with The Colliers Group, we are taking the next step in this process and changing our name to “Colliers Engineering & Design, Inc.” Many of you are already aware of this news. Our new name will give us even greater exposure in our existing markets, as well as in new and emerging markets.

Since we are a professional services firm, there are a number of licensing and registration requirements to be met as part of our name change and this process has already started. But, with 35 offices across 13 states and with active projects and/or services being performed in 46 states overall, this name-change process will be ongoing for a few more months.

You should know, however, that there will be NO changes whatsoever to either parties' rights, remedies, duties, and/or insurance coverages under Maser's existing Agreement(s). There will also be NO change in the project management teams, project accounting, or project staff providing services under these Agreement(s), and we have retained our same FEIN for tax and accounting purposes as well. You will continue to receive from us as Colliers Engineering & Design the same superior services you have received from us as Maser Consulting.

The email communication you have received from your Maser contact, which this letter accompanies, also includes several other documents which we believe will assist you in your review and in your revision of your internal records in this matter, such as:

- (1) our name change and “doing business as” approval issued by the State of NJ, the State in which our firm is incorporated;
- (2) our updated W9 form, identifying that we have, in fact, retained the same FEIN that was assigned to us as Maser Consulting; and
- (3) our general form of Novation agreement for your review and revision, as may be needed.

As we move forward with this name change process we will be providing to you an updated Certificate of Insurance for continuing coverage as would be applicable to any and all Agreement(s) between us.

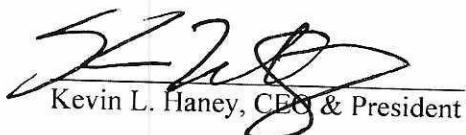


Please let us know what other information and documentation you may need to review and approve in order to assist you in revising your internal records to reflect our name change, so we can make this process as smooth as possible for you.

We look forward to continuing to work with you and your organization and further strengthening and expanding our relationship. Thank you.

Very truly yours,

**MASER CONSULTING INC.**



A handwritten signature in black ink, appearing to read 'KLH'.

Kevin L. Haney, CEO & President

## NOVATION AGREEMENT

**Maser Consulting Inc.** (Assignor), a business corporation duly organized and existing under the laws of the State of New Jersey, with its principal office in Red Bank, NJ; and **Colliers Engineering & Design, Inc.** (Assignee), a business corporation duly organized and existing under the laws of the State of New Jersey, with its principal office in Red Bank, NJ and a local office in \_\_\_\_\_; and the \_\_\_\_\_ (Client) enter into this Agreement as of January 1, 2021.

(a) The parties agree to the following facts:

1. The Client has entered into a certain contract with the Assignor, namely: Contract

Number(s) \_\_\_\_\_

with an effective date of \_\_\_\_\_ through \_\_\_\_\_ for \_\_\_\_\_

*(description of services)*

The term "the contract(s)," as used in this Agreement, means the above contract(s) and purchase orders and all other related contracts and purchase orders, including all modifications, made between the Client and the Assignor before the effective date of this Agreement (whether or not performance and payment have been completed and releases executed if the Client or the Assignor has any remaining rights, duties, or obligations under these contracts and purchase orders). Included in the term "the contract(s)" are also all modifications made under the terms and conditions of these contracts and purchase orders between the Client and the Assignee, on or after the effective date of this Agreement.

2. Effective on January 1, 2021, the Assignor will transfer to the Assignee certain assets of the Assignor relating to Assignor's contracted services which provides same to commercial, government and industrial end users, which assets includes those pertaining to the contract, by virtue of an Assignment & Assumption Agreement between the Assignor and the Assignee.
3. The Assignee will assume all obligations and liabilities of the Assignor under the contract by virtue of the above transfer.
4. The Assignee is in a position to fully perform all obligations that may exist under the contract.
5. It is consistent with the Client's interest to recognize the Assignee as the successor party to the contracts.
6. Evidence of the above transfer has been filed with the Client.

(b) In consideration of these facts, the parties agree that by this Agreement –

1. The Assignor confirms the transfer to the Assignee and waives any claims and rights against the Client that it now has or may have in the future in connection with the contracts.
2. The Assignee agrees to be bound by and to perform each contract in accordance with the conditions contained in the contracts. The Assignee also assumes all obligations and liabilities of, and all claims against, the Assignor under the contracts as if the Assignee were the original party to the contracts.
3. The Assignee ratifies all previous actions taken by the Assignor with respect to the contracts, with the same force and effect as if the action had been taken by the Assignee.
4. The Client recognizes the Assignee as the Assignor's successor-in-interest in and to the contracts. The Assignee by this Agreement becomes entitled to all rights, titles, and interests of the Assignor in and to the contracts as if the Assignee were the original party to the contracts. Following the effective date of this Agreement, the term "Contractor", as used in the contracts, shall refer to the Assignee.
5. Except as expressly provided in this Agreement, nothing in it shall be construed as a waiver of any rights of the Client against the Assignor.
6. All payments and reimbursements previously made by the Client to the Assignor, and all other previous actions taken by the Client under the contracts, shall be considered to have discharged those parts of the Client's obligations under the contracts. All payments and reimbursements made by the Client after the date of this Agreement in the name of or to the Assignor shall have the same force and effect as if made to the Assignee, and shall constitute a complete discharge of the Client's obligations under the contracts, to the extent of the amounts paid or reimbursed.
7. The Assignor and the Assignee agree that the Client is not obligated to pay or reimburse either of them for, or otherwise give effect to, any costs, taxes, or other expenses, or any related increases, directly or indirectly arising out of or resulting from the transfer of this Agreement, other than those that the Client in the absence of this transfer or Agreement would have been obligated to pay or reimburse under the terms of the contracts.
8. The Assignor guarantees payment of all liabilities and the performance of all obligations that the Assignee—
  - i. Assumes under this Agreement; or
  - ii. May undertake in the future should this contract be modified under their terms and conditions. The Assignor waives notice of, and consents to, any such future modifications.
9. The contract shall remain in full force and effect, except as modified by this Agreement which can be signed in counterparts. Each party has executed this Agreement as of the day and year first above written.

*(Signatures follow)*

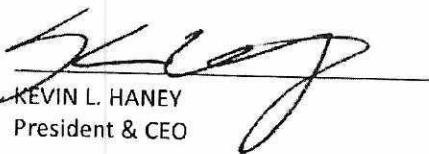
*(Remainder of this page is intentionally blank)*

## CLIENT

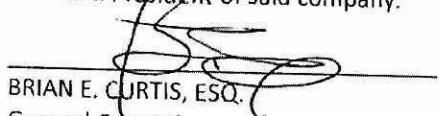
By: \_\_\_\_\_

## MASER CONSULTING INC.

By:

  
KEVIN L. HANEY  
President & CEO

I hereby attest that KEVIN L. HANEY, who signed this certificate on behalf of MASER CONSULTING INC., was then President of said company.

  
BRIAN E. CURTIS, ESQ.  
General Counsel

## COLLIERS ENGINEERING &amp; DESIGN, INC.

By:

  
KEVIN L. HANEY  
President & CEO

I hereby attest that KEVIN L. HANEY, who signed this certificate on behalf of COLLIERS ENGINEERING & DESIGN, INC., was then President of said company.

  
BRIAN E. CURTIS, ESQ.  
General Counsel

*(End of Novation Agreement)*

**Caputo, Michelle**

**From:** Chris Dour <CDour@maserconsulting.com>  
**Sent:** Tuesday, January 19, 2021 3:57 PM  
**To:** Caputo, Michelle  
**Cc:** Matias, Rick; Christopher Nicola; Maureen Murphy; Tiffany Esdaile; Debbie Wood; Linda Boyer  
**Subject:** CONTRACTS - City of Summit - 2021 Traffic Survey Eng. Services, Planning Board, Zoning Board  
**Attachments:** MC - CONTRACTS - City of Summit - 2021 Traffic Survey Eng. Services 2021 - TE Rvsd 210107 Summary.pdf

Michelle,

As discussed, attached are the changes we requested for all three contracts. Please advise if you or anyone in the City need additional information.

We understand that if approved by the Risk Manager, a recommendation would then be forwarded to the Common Council to approve by Resolution. Thank you again for your time today to discuss.

Chris

**Christopher Dour, P.E., P.P.**  
**Project Manager**

**Maser Consulting, Inc.**

400 Valley Road | Suite 304 | Mt. Arlington, NJ 07856  
 C: 862-219-0267 P: 973-398-3110 ext: 4542  
[www.maserconsulting.com](http://www.maserconsulting.com)

***Maser Consulting will be known as Colliers Engineering & Design in 2021***

Maser Consulting is a multi-discipline engineering firm serving public and private clients across the nation. We've proudly gained recognition from ENR as a Top 500 Design Firm, The Zweig Group's Hot Firm List, and as a Best Place to Work Employer!

[Click here to share why you think Maser Consulting is one of the Best!](#)



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Two or more persons in any one occurrence \$1,000,000.  
 Property damage in any one occurrence \$250,000.  
 OR  
 Combined Single Limit \$1,000,000.

Professional Liability Insurance in an amount (a) not less than \$1,000,000 each claim and a \$1,000,000 aggregate if CONTRACTOR is an individual or sole proprietorship, or those vendors that are described or offer services as tax appraisal services or construction inspection services on construction projects valued under \$2 million; (b) in an amount not less than \$2,000,000 each claim and a \$2,000,000 aggregate if CONTRACTOR is a corporation, partnership, limited liability company, limited liability partnership or similar entity, or (c) in such amount as recommended by The City Department Head and authorized by resolution of the Common Council.

The policies shall remain in effect until all work has been completed. The vendor shall ascertain the cost of all required insurance before preparing and submitting a bid or proposal as applicable.

The certificate of General Liability insurance furnished by the vendor shall indicate that contractual liability is included. The certificate shall also state that the vendor's insurance for general liability, public personal injury liability and property damage liability, and automobile liability names the City of Summit as an additional named insured.

Vendor will indemnify and hold harmless the CITY, its officers, agents, and employees, from all claims, suits or actions and damages or costs of every name and description to which the CITY may be subjected or put by reason of injury to the person or property of another, or the property of the CITY, 1 resulting from negligent acts or omissions on the part of the vendor, the vendor's employees, agents, servants or subcontractors in the delivery of materials and supplies, or in the 2 performance of the work under this Agreement.

#### Certificates of the Required Insurance

Certificates of Insurance for those policies required above shall be submitted to and accepted by the City of Summit before the contract can be fully executed. Such coverage shall be with an insurance company authorized to do business in the State of New Jersey and shall name the City of Summit as an additional insured.

Self-insured contractors shall submit an affidavit attesting to their self-insured coverage and shall name the City of Summit as an additional insured.

Insurance shall be issued on a primary and non-contributory basis; and a waiver of subrogation in favor of the City of Summit shall be included by endorsement.

3. Political Contribution Disclosure. This contract has been awarded to CONTRACTOR based on the merits and abilities of CONTRACTOR to provide the goods or services as described herein.

Contractor is advised that of the responsibility to file an annual disclosure statement on political contributions with the New Jersey Election Law Enforcement Commission pursuant to N.J.S.A. 19:44A-20.13 (P.L. 2005, c.271, s.3) if the contractor receives contracts in excess of \$50,000 from public entities in a calendar year. It is the contractor's responsibility to determine if filing is necessary. Additional information on this requirement is available from ELEC at 888-3113-3532 or at [www.elec.state.nj.us](http://www.elec.state.nj.us).

4. CONTRACTOR may not assign this Agreement or sublet any work under this Agreement, unless specifically addressed in the proposal or subsequently approved in writing by the CITY.
5. The terms of this Agreement shall be interpreted under the laws of the State of New Jersey. Where there is an inconsistency between the provisions of this Agreement and the provisions of the CONTRACTOR'S proposal and any supplementary correspondence between the CONTRACTOR and the CITY, the provisions of this Agreement shall control.

Page: 4

<input checked="" type="checkbox"/> Number: 1	Author: tesdale	Subject: Inserted Text	Date: 1/7/2021 11:01:17 AM
<input checked="" type="checkbox"/> Number: 2	Author: tesdale	Subject: Inserted Text	Date: 1/7/2021 11:01:28 AM

Resolution (ID # 7760)  
March 16, 2021

**AUTHORIZE CUB SCOUTS PACK 360 COMMUNITY PROJECT - COMMUNITY CLEANUP  
AT MARTIN'S BROOK, ALONG BUTLER PARKWAY & VILLAGE GREEN**

WHEREAS, the Director of the Department of Community Services advised through the City's Environmental Commission, that Pack 360 of the Summit Cub Scouts ("Cub Scout Pack 360"), has requested permission to conduct a community cleanup at Martin's Brook and along Butler Parkway, as well as the Village Green, as a "backup location" on Sunday, March 21, 2021, and

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT, COUNTY OF UNION, NEW JERSEY:

That the community clean-up effort, as proposed by Cub Scout, Pack 360, be and it is hereby authorized on Sunday, March 21, 2021, subject to the following conditions:

- Clean-up shall be in the area of Martin's Brook and along Butler Parkway, subject to the approval of the Director of Community Services.
- The Village Green shall be considered a "backup location" for community clean-up, subject to the approval of the Director of the Department of Community Services.
- Recyclable bags filled with debris shall be left at specified locations, as designated by the Director of the Department of Community Services, for pick-up by the Division of Public Works on the Monday following the clean-up.
- The clean-up effort shall be under the supervision of the Director of the Department of Community Services and City Forester.
- At least two weeks in advance of the event date, the leader of Cub Scout Pack 360 shall provide the name and mobile phone number of the person(s) in charge and same shall be submitted to the Director of the Department of Community Services and to the City's Joint Emergency Dispatch Center, through the Summit Police Department, in case any issues arise relative to the effort.

Dated: March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



## **RESOLUTION (ID # 7760)**

DOC ID: 7760

TO: Mayor and Common Council

FROM: Aaron Schrager, City Engineer/ Acting DCS Director

DATE: March 4, 2021

Through the City's Environmental Commission, the Cub Scouts have requested permission to complete a community cleanup at Martin's Brook and along butler Parkway on Sunday, March 21, 2021. They have also requested permission for the Village Green as a backup location should it be needed.

The City historically endorses these activities by means of a resolution and at this time I support this project for consideration.

**AUTHORIZE PROFESSIONAL SERVICES AGREEMENT IN EXCESS OF \$17,500.00- BROAD  
STREET WEST REDEVELOPMENT FINANCIAL ADVISOR SERVICES - NOT TO EXCEED  
\$75,000.00**

**PENDING RECEIPT OF ORIGINAL PAY-TO-PLAY BY COB 3/16**

WHEREAS, the City of Summit has a need to acquire financial advisor services for the Broad Street West Redevelopment as a non-fair and open contract pursuant to the provisions of N.J.S.A. 19:44A-20.5, and

WHEREAS, the Purchasing Agent has determined and certified in writing that the value of the contract will exceed \$17,500.00, and

WHEREAS, the anticipated term of this contract is from the date of the fully executed agreement for a period not to exceed 12 consecutive months from that date, and

WHEREAS, Nassau Capital Advisors LLC has submitted a proposal dated February 4, 2021, for said services for a total cost estimated by the City Engineer/Acting DCS Director not to exceed \$75,000.00, and

WHEREAS, Nassau Capital Advisors LLC has completed and submitted a Business Entity Disclosure Certification which certifies that Nassau Capital Advisors LLC has not made any reportable contributions to a political or candidate committee in the City of Summit in the previous one year, and that the contract will prohibit Nassau Capital Advisors LLC from making any reportable contributions through the term of the contract, and

WHEREAS, the cost of said services is not to exceed \$75,000.00 and funds will be certified upon inclusion in and adoption of the 2021 budget and availability of reimbursement from developer escrow funds, and

WHEREAS, the Local Public Contracts Law (N.J.S.A. 40A:11-1 et seq.) requires that the resolution authorizing the award contracts for "Professional Services" without competitive bids and the contract itself must be available for public inspection.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

- That the Mayor and City Clerk are hereby authorized and directed to sign an agreement with Nassau Capital Advisors LLC, 12 Vandeventer Avenue, PO Box 1475, Princeton, NJ 08542, as described herein.
- That the Business Entity Disclosure Certification and the Determination of Value be placed on file with this resolution.
- This contract is awarded without competitive bidding as a "Professional Service" in accordance with 40A:11-5(1) (a) of the Local Public Contracts Law because Dr. Robert S. Powell, Jr. of

Nassau Capital Advisors LLC is a licensed real estate broker with advanced knowledge and extensive experience in matters of real estate financial feasibility.

- That Nassau Capital Advisors LLC shall comply with the requirements of N.J.S.A. 10:5-31 et seq. and N.J.A.C. 17:27 (Affirmative Action), N.J.S.A. 52:32-44 (Business Registration), and the City's insurance requirements.
- A notice of this action shall be published in the Union County Local Source.

Dated: March 16, 2021

I, Rosalia M. Licatiese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



**Capital Projects and Community Services Committee**  
R - Capital Projects & Community Services

[www.cityofsummit.org](http://www.cityofsummit.org)

Meeting: 03/16/21 07:30 PM

**RESOLUTION (ID # 7737)**

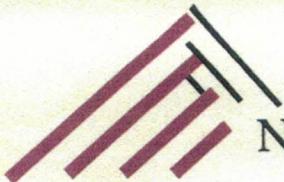
DOC ID: 7737 B

TO: Mayor and Common Council  
FROM: Aaron Schrager, City Engineer/ Acting DCS Director  
DATE: February 24, 2021

**SUMMARY**

The City has obtained five (5) proposals for firms to provide consulting services to assist in analyzing the fiscal benefits and impacts of the Broad Street West Redevelopment Project. After reviewing the proposal, it was determined that Nassau Capital Advisors, LLC of Princeton is best suited to provide this service for the City based on a review of their qualification and familiarity with their work in other municipalities. As with other professional fees associated with the Broad Street West Redevelopment Project, the costs will be reimbursed from the developer's escrow account.

At this time I recommend awarding a not-to-exceed contract in the amount of \$75,000 to Nassau Capital Advisors, LLC for financial consulting services on the Broad Street West Redevelopment Project. Funding can be certified against the 2021 operating account 1-01-21-180-000-511 - "Special Projects" and then reimbursed accordingly.



February 4, 2021

Mr. Michael F. Rogers  
 City Administrator  
 512 Springfield Avenue  
 City Hall  
 Summit, NJ 07901

Via Email Transmission Only

*Re: Proposal for Real Estate Redevelopment and Financial Advisory Services  
 Broad Street West Redevelopment Plan, City of Summit, NJ*

Dear Mr. Rogers,

At the suggestion of Ms. Annie Hinderlang of Topology, I am writing to offer the services of our firm as financial advisor to the City of Summit, NJ in connection with this initiative captioned above. Please consider this letter as our proposal for such services.

Background and Scope of Work

I understand the City of Summit has designated a number of parcels in its downtown area as an area in need of redevelopment pursuant to the Local Redevelopment and Housing Law (LRHL). The area has been designated the Broad Street West Redevelopment Area (“Redevelopment Area”).

The Redevelopment Area includes sixteen (16) parcels totaling 10.1 acres - of which 6.3 acres are City-owned. The Redevelopment Area encompasses much of the property south of the below-grade regional rail line, west of Maple Street, north of Morris Avenue, and east of Springfield Avenue.

Pursuant to the Broad Street West Redevelopment Plan dated March 20, 2019, the redevelopment initiative envisions the redevelopment of these parcels with mixed use improvements, including new retail and office facilities, residential structures and supportive improvements including parking facilities and open space amenities.

I understand that the City seeks the services of an experienced real estate financial advisor to assist the City in reviewing and analyzing such proposed developments to assess the financial feasibility of these developments, as well as the fiscal and economic impact projects will have on the community. Such impacts include:

- (i) net fiscal benefits to the municipal budget measured by increases in municipal revenues offset by additional municipal government service costs; and
- (ii) the impact on the local public schools.

I am confident our team can provide the City of Summit with the financial and analytical expertise and deep experience in redevelopment throughout New Jersey, to assist the City in crafting a redevelopment

strategy that is smart, that will work financially, and that will be a “win-win” for the community and the private developers which will be part of the effort.

Attached to this letter proposal is a summary of the considerable experience in such matters Nassau Capital Advisors brings to this assignment, as well as a number of references I encourage you to contact to learn more about our recent work with other municipal clients. I invite you to visit our website at [www.nassaucap.com](http://www.nassaucap.com) to learn more about our work.

Approach to the Assignment and Scope of Work

1. Economic and Financial Feasibility

As a first step in our scope of work, as redevelopment plans are being finalized and specific redevelopers are selected, we will prepare one or more detailed financial models of each of the separate elements of the overall redevelopment plan. The purpose of these models will be to determine the financial feasibility of a proposed plan, under various alternative assumptions, such as density, affordable housing requirements, market rents, operating costs, land costs and payment formulas for a potential PILOT agreement. Our models utilize our firm’s extensive sources of data on development costs, revenues, financing options and related financial assumptions.

The models enable us to determine an estimated Internal Rate of Return (IRR) to the investor on its projected equity investment in a specific project built in accordance with the redevelopment plan. The Internal Rate of Return is the principal standard of financial feasibility widely utilized and accepted in the real estate capital markets.

The models thus will assist the City in gauging the impact on financial feasibility of a variety of planning choices that need to be made for a plan, including:

- (i) The density per-acre of a multi-family residential project;
- (ii) The percentage of affordable housing to be included;
- (iii) The amount, density and phasing of retail and office spaces to be part of the plan;
- (iv) Provisions for on-site parking;
- (v) The need for, and structure, of a Financial Agreement permitting a PILOT, and the specific payment formula(s) for such Agreement(s).

Once we have a model for a plan prepared, we can collaborate with City officials in undertaking a series of “what if” scenarios for any or all of the choices above, and the model then illustrates the impact on the financial return of such changes to key assumptions. This type of analysis (which is widely used by developers in their own internal analysis of development plans) will be of great value to Summit in discussions with the community as well as with redevelopers over the final terms of a plan.

2. Impact on Public Schools of Redevelopment Plans

If requested, Nassau Capital Advisors can provide Summit with a detailed analysis of the estimated number of public school age children the residential component of a plan is likely to generate. We have performed dozens of similar studies for towns across New Jersey over the past several years.

We utilize the most current and detailed demographic data available for public school student multipliers. The information has been developed by Community Data Analytics (CDA). CDA is a unit of Econsult

Solutions, Inc., a Philadelphia-based consulting company providing economic study services. The multipliers are derived from the 5-year American Community Survey Public Use Microdata Sample (ACS-PUMS). These records are released every year, enabling CDA to update multipliers annually. The current CDA multipliers use the 2019 ACS release for newly moved-in households for 2013-2017. The data are thus far more accurate and reflective of current demographic trends than state-wide data from the 1990s used in many prior school impact studies.

The data separate school age children who attend public school (PSAC) from those school age children who attend private school or are home schooled. The data are collected at a level of geography called Public Use Microdata Area (PUMA) which is a geographical unit of at least 100,000 people. These records contain detailed responses by households on each person in the household and the housing units in the ACS survey. CDA then uses the variables for the time a householder moves into the unit, the year the unit was built, the age of each member of the household, the grade level of students in the household, and other demographic factors to prepare a variety of demographic multipliers. The particular data set we would tap for the Summit analysis would be drawn from a sample of 6 – 8 PUMAs in the region which includes Summit, and which are comparable to Summit demographically.

The PSAC projections will separate new students according to three groups (grades 1-5, 6-8 and 9-12). These projections then can be integrated into existing public school capacity data the Summit Board of Education can provide, to determine whether, and to what extent, increases in PSAC at various grade levels may create capacity challenges for the district.

In connection with our work, we will likely prepare one or more written reports with findings and conclusions. I will be the principal in our firm leading this assignment. I will be available for meetings with City officials as well as meetings with redevelopers and members of the public if requested. For research and report preparation, I will be assisted by my associate, Mr. Gerry Doherty, who has worked closely with me on dozens of similar matters in New Jersey over the past several years.

Compensation:

Our compensation for these services will be based on our time devoted to the matter, based upon our current hourly rates. My 2021 hourly rate is \$340.00 per hour for research, meeting attendance and report preparation. Mr. Doherty's current hourly rate is \$295.00 per hour for research and report preparation.

Our fees will cover all routine office and reproduction expenses. We will invoice the City monthly for our services, and payment will be due within 30 days of an invoice.

Our compensation is not contingent upon achieving a particular outcome in this matter.

This agreement may be terminated by either party, without cause, upon providing two-week advanced written notice. In the event of termination, we will submit an invoice for work performed up to the date of termination, and upon payment of that invoice, neither party shall have any further obligation to the other.

If this letter agreement accurately summarizes our understandings in this matter, please indicate by having an authorized representative sign in the space provided below, and return to me for our files.

Mr. Michael F. Rogers, Administrator  
City of Summit  
February 4, 2021

We look forward to working with you, and are available to begin work on this matter immediately.

My best,



Robert S. Powell, Jr.  
Managing Director

*Attachments*

*Agreed:*

*City of Summit*

*By:* \_\_\_\_\_

*Name:* \_\_\_\_\_

*Title:* \_\_\_\_\_

*Date:* \_\_\_\_\_

## Certification of Availability of Funds

This is to certify to the Mayor and Common Council of the City of Summit that funds for the following resolution are available:

Resolution Date: March 16, 2021  
 Resolution Doc Id: 7737

Vendor: Nassau Capital Advisors LLC  
 12 Vandeventer Ave  
 PO Box 1475  
 Princeton, NJ 08542

Funds will be certified upon adoption of and inclusion in the 2021 municipal budget and the availability of reimbursement from developer escrow funds.

Purchase Order Number: 21-00673

Account Number	Amount	Account Description
0-01-21-180-000-511	\$75,000.00	MLU Planner Special Projects

Total Contract \$ 75,000.00

Only amounts for the current Budget Year have been certified.  
 Amounts for future years are contingent upon sufficient funds being appropriated.

Tammie L. Baldwin  
 CFO/City Treasurer

# Memo

**To:** Mayor and Common Council  
**From:** Michelle Caputo, Purchasing Agent  
**Date:** 3/9/21  
**Re:** Non-Fair and Open Professional Services Contract Awards

Pursuant to N.J.S.A. 19:44A-20.5, this memo is to hereby certify that the following Professional Services contract to be considered at the March 16, 2021 Council Meeting for award under a non-fair and open process has an anticipated value in excess of \$17,500.00 and therefore the provisions of N.J.S.A. 19:44A-20.4 et seq. (Pay-to-Play) shall apply:

- Broad Street West Redevelopment Financial Advisor Services – Nassau Capital Advisors LLC – not to exceed \$75,000.00

## BUSINESS ENTITY DISCLOSURE CERTIFICATION

FOR NON-FAIR AND OPEN CONTRACTS

Required Pursuant To N.J.S.A. 19:44A-20.8

CITY OF SUMMIT – 2021 [rev 2/23/21]

RECEIVED

MAR 01 2021  
via email (mc)  
Purchasing Agent  
City of Summit, NJ**Part I – Vendor Affirmation**

The undersigned, being authorized and knowledgeable of the circumstances, does hereby certify that the (name of business entity) NASSAU CAPITAL ADVISORS LLC has not made and will not make any reportable contributions pursuant to N.J.S.A. 19:44A-1 et seq. that, pursuant to P.L. 2004, c. 19 would bar the award of this contract in the one year period preceding (date of scheduled award DO NOT COMPLETE; TO BE COMPLETED BY CITY) 3/16/21, 2021, to any of the following named candidate committee, joint candidates committee; or political party committee representing the elected officials of the CITY OF SUMMIT as defined pursuant to N.J.S.A. 19:44A-3(p), (q) and (r).

• Summit Municipal Democratic Committee (Mayor Nora Radest, Councilmembers Marjorie Fox, Susan Hairston, Beth K. Little, B. David Naidu, Danny O'Sullivan, Gregory Vartan)	• Fox For Summit Council
• Summit Republican City Committee (Councilmember Lisa Allen)	• Hairston for Council
	• Naidu for Council
	• Vartan for Council

**Part II – Ownership Disclosure Certification**

I certify that the list below contains the names and home addresses of all owners holding 10% or more of the issued and outstanding stock of the undersigned.

Check the box that represents the type of business entity:

Partnership     Corporation     Sole Proprietorship     Subchapter S Corporation  
 Limited Partnership     Limited Liability Company     Limited Liability Partnership

Name of Stock or Shareholder	Home Address
<u>ROBERT Powell</u>	

**Part 3 – Signature and Attestation:**

The undersigned is fully aware that if I have misrepresented in whole or part this affirmation and certification, I and/or the business entity, will be liable for any penalty permitted under law.

Name of Business Entity: \_\_\_\_\_

Signed: Robert PowellTitle: Manager DirectorPrint Name: Robert PowellDate: 2/26/20Subscribed and sworn before me this 26 day of Feb  
2021My Commission expires: MARCH 21, 2021  
SWETA PATEL  
NOTARY PUBLIC STATE OF NEW JERSEY  
COMMISSION # 2341983  
MY COMMISSION EXPIRES(Affiant) Sweta Patel (Corporate Seal) Sweta Patel  
(Print name & title of affiant) (Corporate Seal)



# C. 271 POLITICAL CONTRIBUTION DISCLOSURE FORM

Required Pursuant To N.J.S.A. 19:44A-20.26

**This form or its permitted facsimile must be submitted to the City of Summit no later than 10 days prior to the award of the contract.**

## Part I – Vendor Information

Vendor Name: NASSAU CAPITAL ADVISORS, LLC  
Address: 12 VAN DEVENTER AVE  
City: PRINCETON State: NJ Zip: 08542

The undersigned being authorized to certify, hereby certifies that the submission provided herein represents compliance with the provisions of N.J.S.A. 19:44A-20.26 and as represented by the Instructions accompanying this form.

Robert Powell Managing Dir 2/26/21  
Signature Printed Name Title

## Part II – Contribution Disclosure

Disclosure requirement: Pursuant to N.J.S.A. 19:44A-20.26 this disclosure must include all reportable political contributions (more than \$300 per election cycle) over the 12 months prior to submission to the committees of the government entities listed on the form provided .

Check here if the information is continued on subsequent page(s)

**DOUBLE SIDED DOCUMENT**

## STOCKHOLDER DISCLOSURE CERTIFICATION

RECEIVED

MAR 01 2021

Purchasing Agent  
City of Summit, NJ

Name of Business:



I certify that the list below contains the names and home addresses of all stockholders holding 10% or more of the issued and outstanding stock of the undersigned.

OR



I certify that no one stockholder owns 10% or more of the issued and outstanding stock of the undersigned.

Check the box that represents the type of business organization:

 Partnership Corporation Sole Proprietorship Limited Partnership Limited Liability Company Limited Liability Partnership Subchapter S Corporation

Sign and notarize the form below, and, if necessary, complete the stockholder list below.

Stockholders:

Name: *Robert Powell*

Name:

Home Address:

Home Address:

Name:

Name:

Home Address:

Home Address:

Name:

Name:

Home Address:

Home Address:

*Robert Powell**Managing Director*Subscribed and sworn before me this 26<sup>th</sup> day of Feb, 2021

(Notary Public)

My Commission expires: 03/21/2021*R. B. Patel*

(Affiant)

*Sweta Patel*

(Print name &amp; title of affiant)

SWETA PATEL  
NOTARY PUBLIC STATE OF NEW YORK  
COMMISSION # 234395  
MY COMMISSION EXPIRES MARCH 21, 2021

(Corporate Seal)

Resolution (ID # 7763)  
March 16, 2021

**APPOINT ZONING BOARD MEMBER - ALTERNATE NO. 4 (PENDING CLOSED SESSION  
DISCUSSION)**

Pending Closed Session discussion.

**AMEND CONTRACT - PARKING PAY-BY-PHONE SERVICES - PARKMOBILE LLC -  
CONVENIENCE FEE PAID BY END USER EFFECTIVE MAY 1, 2021**

WHEREAS, on September 5, 2012, the Common Council adopted Resolution 35402 Authorizing Contract Execution for Parking Pay-By-Phone Services to Parkmobile USA, Inc. ("Parkmobile") to provide for a system for the payment of street parking by mobile telephone within the City of Summit for the period from September 5, 2012 through September 4, 2015 with two (2) consecutive one (1) year automatic renewal terms; and

WHEREAS, on July 25, 2017, the Common Council adopted Resolution 37994 authorizing a non-fair and open agreement with Parkmobile for the term from September 6, 2017 to September 5, 2018 with the option for annual renewals up to a five (5) year contract term based on Parkmobile's proposal, Option A with costs to the City of a \$.25 convenience fee per transaction for 0-30,000 monthly transactions, \$.20 per transaction for 30,0001-50,000 monthly transactions, \$.15 per transaction for 50,001 and greater monthly transactions, and credit card fees for all wallet-initiated transactions waived; and

WHEREAS, due to the substantial decrease in parking revenue as a result of the COVID-19 pandemic, the City can no longer absorb the cost of the convenience fee; and

WHEREAS, the contract with Parkmobile provides that the convenience fee may be passed on to the end user upon thirty (30) days' written notice to Parkmobile; and

WHEREAS, the Parking Services Director has recommended that the contract with Parkmobile be amended so that effective May 1, 2021, the end user pays the \$0.25 per transaction convenience fee as the City is no longer eligible for the volume discounts as set forth above; and

WHEREAS, in addition, the contract shall be amended so that Parkmobile will charge end users a credit card processing fee of 3% + \$0.15 on all wallet transactions only.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

1. That the proper City officials are hereby directed to give written notice to Parkmobile authorizing Parkmobile to charge the convenience fee to the end user effective May 1, 2021 in accordance with the contract dated September 6, 2017.
2. That Parkmobile will also charge end users a credit card processing fee of 3% + \$0.15 on all wallet transactions only.
3. The Mayor and City Clerk are hereby authorized to execute an amendment to the contract with Parkmobile as outlined herein.
4. Except as amended herein, the contract with Parkmobile shall remain in full force and effect through the termination date of September 5, 2022.

Dated: March 16, 2021

I, Rosalia M. Licatise, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk

# PARKING SERVICES AGENCY

CITY HALL, 512 SPRINGFIELD AVENUE, SUMMIT, NJ 07901  
 P: 908.522.5100 F: 908.277.2977  
 PARKING@CITYOFSUMMIT.ORG  
 WWW.CITYOFSUMMIT.ORG



## MEMORANDUM

To: *Rita* Mayor Radest and Members of Common Council  
 From: Rita M. McNany, Parking Services Director  
 Date: March 8, 2021  
 Re: Pay by Cell Parking Payment - Customer to pay Convenience Fee

Since 2013, the City has provided parking customers the option of paying for parking through a cell phone app, specifically Parkmobile. The City's Parking Services Agency has paid the convenience fees for every payment through Parkmobile. The fees the City has paid are as follows:

2013	\$ 27,783
2014	\$ 48,762
2015	\$ 65,101
2016	\$ 64,940
2017	\$ 81,883
2018	\$ 85,115
2019	\$124,680
2020	<u>\$ 51,984</u>
Total	\$550,248

Due to COVID-19, parking revenues are down substantially. Through discussing various options, the CPPS Committee felt that instead of imposing an overall parking fee increase at this time, the only option available would be to have the customer pay the convenience fee. The revenues from commuter parkers allowed the City to absorb the convenience fee which is no longer the case.

In addition, there are 38 other towns in New Jersey that have the customer pay the convenience fee.

Therefore, an amendment to the current contract needs to be as follows:

1. Official 30-Day Notice for a contract amendment as of March 16, 2020 stating that the City of Summit will no longer pay the convenience fee on customer's transaction. Therefore, May 1, 2020 and for the remainder of the contract and any automatic renewals, the customer will pay a per transaction fee not to exceed \$.25 per transaction.
2. The City is no longer afforded volume discounts under this amendment and until such time when the City would once again pay the convenience fee or through new contract negotiations.

3. Customers will now pay a \$0.25 transaction fee for ParkMobile wallet transactions. In addition, ParkMobile will charge our 3% + \$0.15 processing fee on all wallet transactions. Both transaction and processing fees will be reduced from the monthly remittance made to the city by ACH payment for wallet transactions.
4. If the City decides at any point in the future to again pay the convenience fees, a letter from the City advising Parkmobile would suffice.

The City's Parking Services Agency and the Press Office will inform the public through various press and social media outlets. Thank you for your continued support.

**AUTHORIZE SCALED REDUCTION - 2021 FEE - SFAC FOOD CONCESSION 2017-2021**

WHEREAS, on December 20, 2016, Common Council adopted Resolution #37666 awarding a five-year Contract #17-3317 to SA Food Associates, LLC, for 2017-2021 Summit Family Aquatic Center (SFAC) Food Concession under the procedures for Competitive Contracting pursuant to N.J.S.A. 40A:11-4.1 et seq., for payments to the City of Summit of \$21,000.00 per year, for a total contract amount of \$105,000.00, and

WHEREAS, the Director of the Department of Community Programs advises that due to the ongoing COVID-19 pandemic and with the concurrence of the City Solicitor, the Community Programs Director and the vendor negotiated a scaled reduction in the 2021 fee from \$21,000.00 to the following based on total amount of sales:

\$90,000.00 and above	\$21,000
\$80,000.00-\$89,999.99	\$16,500
\$70,000.00-\$79,999.99	\$12,000
\$60,000.00-\$69,999.99	\$9,000
\$50,000.00-\$59,999.99	\$7,500
\$49,999.99 and below	\$6,000

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

That the 2021 fee for the Summit Family Aquatic Center Food Concession be reduced from \$21,000.00 to the amount based on total amount of sales in the scale described above.

Dated: March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



## **RESOLUTION (ID # 7715)**

DOC ID: 7715 B

TO: Mayor and Common Council

FROM: Mark Ozoroski, Director - DCP

DATE: February 22, 2021

### **SUMMARY**

MEMO TO: Mayor and Council

FROM: Mark Ozoroski, DCP Director

DATE: February 24, 2020

RE: Reduced Fee - SFAC Concessionaire

Sergio Francisco, owner of SA Foods Associates, LLC and our concessionaire at the SFAC was very seriously contemplating not opening for the 2021 pool season, and once again worried that he will not be able to pay the annual \$21,000, due the continued COVID-19 pandemic. Although, I believe we will have a normal pool season, Sergio believes the opposite and feels the restrictions will still be in place with limited attendance, in reality neither of us know the answer.

After meeting with Sergio our discussions were based on figuring out some type of an agreement that satisfied both parties. Based on good faith, I do not see his financials, and it is not required in the contract. We decided on a scaled version of a sales/rental payment amount which is seen below. At the end of the night, the closing pool manager will log the total amount of sales, so we have an accurate accounting at the end of the season.

Sales	Rent
\$90,000 and above	\$21,000
\$80,000-\$89,999	\$16,500
\$70,000-\$79,999	\$12,000

\$60,000-\$69,999	\$9,000
\$50,000-\$59,999	\$7,500
\$49,999 and below	\$6,000

Based on the COVID-19 Pandemic and the uncertainty of the summer pool season I recommend the above scale to determine the 2021 concession rental for the SFAC.

Resolution (ID # 7750)  
March 16, 2021

**AMEND MEMBERSHIP - SILVER SUMMIT SENIOR CITIZENS ADVISORY COMMITTEE -  
ADD ORGANIZATION AND APPOINT AS NEW MEMBER (PENDING CLOSED SESSION  
DISCUSSION)**

Pending Closed Session discussion.

**GRANT PERMISSION & SET FORTH CONDITIONS - DEPARTMENT OF COMMUNITY PROGRAMS 2021 EGG HUNT RACE**

WHEREAS, the Department of Community Programs (DCP) is coordinating an Egg Hunt Race event along with the Police Athletic League (PAL), and

WHEREAS, in addition to meeting all the conditions of Section 12-1, Rules and Regulations For Use of Public Property of the Code, the DCP coordinated event requires additional permissions as follows:

**Event: DCP/PAL Egg Hunt Race – Pre-determined Locations Around the City of Summit – Saturday, March 27, 2021, 1:00 pm – 3:30 pm.**

**Permission:** Conduct a scavenger hunt and take photos with Easter Bunny at pre-determined locations around the City of Summit, as set forth in the DCP Director's Memo, dated March 5, 2021.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

That the Applicant shall comply with following conditions for this event:

1. In accordance with Section 3, Noise Restrictions, Subsection 3-8.1 b. (7), of the Code, it is hereby determined that the proposed use of a sound amplification system is appropriate for said event(s) and will not adversely affect the safety and general welfare of the public.
2. The Applicant shall obtain a signed Hold Harmless Agreement and Certificate of Insurance from the PAL, meeting the City's requirements, as set forth in the City Code.
3. A copy of this resolution shall be provided to the members of the Property Use Committee and the Joint Dispatch.

Dated: March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk



**MEMO TO:** Rosemary Licatese, City Clerk and Nicole Sarna, Deputy City Clerk  
**RE:** Department of Community Programs and Summit PAL Egg Race

The Department of Community Programs and Summit Police Athletic League request to hold 2021 Egg Hunt Race which would take place on Saturday, March 27, 2021. This event would be a socially distanced event that would replace the Annual Easter Egg Hunt for this year due to COVID 19. This event will be rain or shine.

Pre-registration would be required online. Participants can sign up for one of five available time slots, each half hour between 1 PM and 3:30 PM. We would take a maximum to 50 registrants per time slot. Eggs will be located at seven different locations throughout Summit.

- Cornog Field Hosue
- Summit Community Center
- Tatlock Field
- Wilson Park
- Sweet Nothings
- Summit Muni
- Summit Family Aquatic Center

Upon registration, participants will receive instructions for the first egg pickup location (Summit Family Aquatic Center). The first group of individuals from each time slot to collect eggs from all seven locations will receive a special prize basket. All participants will receive goodie bags and will be able to take photos with the Easter Bunny at the final location (Cornog Field House).

Please let me know if you have any other questions regarding this proposed event.

Thanks!

David Guida

Resolution (ID # 7675)  
March 16, 2021

**AUTHORIZE REFUND OVERPAYMENT OF 2020 TAXES**

WHEREAS, the Collector of Taxes has received a Tax Court Judgment from the Tax Court of New Jersey reducing the assessment on the following properties for 2020.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

That the proper City officers be and they are hereby authorized and directed to issue a check(s) as follows:

<b>Block</b>	<b>Lot</b>	<b>Name</b>	<b>Amount</b>
3501	40	Johnson, Matthew & Mary Elizabeth 77 Prospect Hill Ave  2020 Original Assessment: 1,754,800 = 76,509.28 Per Tax Court, Assm't: 1,554,800 = 67,789.28  <b>Amount to Be Refunded</b>  Check Payable to: Matthew & Mary E. Johnson & Wolf Vespasiano LLC. As Attorneys  Mail to: Wolf Vespasiano LLC 331 Main Street Chatham NJ 07928	8,720.00
3501	16	Welch, Susan & James III 175 Springfield Ave.  2020 Original Assessment: 1,199,600 = 52,302.56 Per Tax Court, Assm't: 1,099,600 = 47,942.56  <b>Amount to Be Refunded</b>  Check Payable to: Bourne Noll & Kenyon and Susan & James Welch III	4,360.00

		Mail to: Bourne Noll & Kenyon 382 Springfield Ave. PO Box 690 Summit NJ 07902- 0690	
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Dated: March 16, 2021

I, Rosalia M. Licatiese Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk

Resolution (ID # 7753)  
March 16, 2021

**AUTHORIZE PARKING REFUNDS - SUMMIT SMARTCARD, PREPAID PARKING, AND  
OVERNIGHT PARKING PERMITS**

WHEREAS, Summit SmartCards, which have been previously purchased from the City through the Parking Utility Account, have been returned because of a lack of need for the cards or due to a malfunction of said cards, and

WHEREAS, individuals have made an overpayment when paying for their dial parking in Summit, and

WHEREAS, individuals who have purchased prepaid parking and no longer require parking in Summit, and

WHEREAS, individuals who have purchased overnight parking permits that have moved or acquired other off-street parking and no longer require such permit.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

That the City Treasurer be and is hereby authorized to issue checks to reimburse Summit SmartCard and prepaid parking and users of overnight permits in the amount(s) on the attached list.

Dated: March 16, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 16, 2021.

City Clerk

SUMMIT SMARTCARD, PREPAID PARKING, AND OVERNIGHT PARKING PERMITS REFUNDS  
COUNCIL MEETING DATE: March 16, 2021

NAME	ADDRESS	TYPE	REASON	REFUND AMOUNT
Gary Russell	257 Dale Drive, Short Hills, NJ 07078	Deforest PS4	Change Due	\$3.0
				\$3.0

**AUTHORIZING PAYMENT OF BILLS**

BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF SUMMIT:

That the proper officers of the City be and they are hereby authorized and directed to draw checks for a total of \$782,600.26 for the payment of the itemized bills listed on the following Schedule "A" which have been approved by several committees and the President of the Common Council and which are made a part of the minutes of this meeting.

Dated: March 2, 2021

I, Rosalia M. Licatese, City Clerk of the City of Summit, do hereby certify that the foregoing resolution was duly adopted by the Common Council of said City at a regular meeting held on Tuesday evening, March 2, 2021.

City Clerk

Rcvd Batch Id Range: First to Last Rcvd Date Start: 0 End: 03/11/21 Report Format: Detail

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Contract Invoice Number
ADAMSC50 ADAM SCHEPPE LANDSCAPING						
03/04/21	EPOPOLO	21-00600	1 Snow removal 12/16/2020	1,350.00	0-01-26-290-000-407 RRM Snow Removal Services	270631SNOW
BPA BENEFIT PLANS ADMINISTRATORS						
03/04/21	EPOPOLO	21-00617	3 ACTIVE PARTICIPANT FEE POLICE	326.25	1-01-25-240-000-841 POL Rabbi Trust Administration Fees	1000773491
03/04/21	EPOPOLO	21-00617	4 BASE ADMINISTRATION FEE POLICE	500.00	1-01-25-240-000-841 POL Rabbi Trust Administration Fees	1000773492
03/04/21	EPOPOLO	21-00617	5 BASE ADMISTRATIVE FEE FIRE	500.00	1-01-25-265-000-841 Fire Rabbi Trust Administration Fees	1000773493
03/04/21	EPOPOLO	21-00617	6 ACTIVE PARTICIPANT FEE FIRE	157.50	1-01-25-265-000-841 Fire Rabbi Trust Administration Fees	1000773494
P.O. Total:				1,483.75		
CANONB66 CANON BUSINESS SOLUTIONS-EAST						
03/04/21	EPOPOLO	21-00281	2 RRD16017 Copier Fees January	14.79	1-09-55-502-001-201 Parking Supplies and Materials	4035186795
CITYOF36 CITY OF SUMMIT HOUSING AUTHORITY						
03/04/21	EPOPOLO	21-00616	1 DEC AT&T CELL TOWER RENT	3,200.00	1-01-08-140-010 Utility Income Cell Tower	DECEMBER 2020
03/04/21	EPOPOLO	21-00616	2 JAN AT&T CELL TOWER RENT	3,200.00	1-01-08-140-010 Utility Income Cell Tower	JANUARY 2021
P.O. Total:				6,400.00		
FLOORMAT FLOOR MAT MANAGEMENT, INC						
03/04/21	EPOPOLO	21-00058	3 FLOORMAT MONTHLY MAINT-FEB2021	292.00	1-01-26-310-000-502 PB&G City Hall Maintenance Contracts	4955
FOLEYI50 FOLEY INCORPORATED						
03/04/21	EPOPOLO	21-00059	8 Trans Neutral Rocker Swtch #98	31.82	1-01-26-315-000-609 Garage RPST Equipment Maintenance	PSIN2354586
GREATAME GREATAMERICA FINANCIAL						
03/04/21	EPOPOLO	21-00635	2 FP Postage Machine 1/22-2/21	500.00	1-01-20-100-002-203 Postage Machine Lease	28815712
03/04/21	EPOPOLO	21-00635	3 FP Postage Machine 1/26 LF	50.00	1-01-20-100-002-203 Postage Machine Lease	28815712
03/04/21	EPOPOLO	21-00635	4 FP Postage Machine 2/22-3/21	500.00	1-01-20-100-002-203 Postage Machine Lease	28815712
P.O. Total:				1,050.00		
GVM GVM INC						
03/04/21	EPOPOLO	21-00303	1 flange & gasket ord #0324683	47.91	1-01-26-315-000-611 Garage RRM Vehicle Maintenance	0569343-IN

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/04/21	EPOPOLO	21-00611	INDUST28 INDUSTRIAL COOLING CORPORATION 1 Boiler Pump AHU2 repairs	2,103.11	0-01-26-310-000-412 PB&G Repairs - 512 Springfield City Hall	196304	
03/04/21	EPOPOLO	20-02594	KNOXC050 KNOX COMPANY 1 RENEWEL CLOUD SOFTWARE LICENSE	524.00	0-01-25-265-000-500 Fire Contract Services	02307433	
03/04/21	EPOPOLO	20-02727	MOCTY MORRIS COUNTY PUBLIC SAFETY 1 FIRE OFFICIAL - DON NELSON	450.00	0-01-25-265-000-804 Fire Training & Seminars	29219	
03/04/21	EPOPOLO	21-00612	NATION03 NATIONAL AIR FILTER 1 Freight charges inv 176605	97.55	0-01-26-310-000-201 PB&G Supplies and Materials	176605	
03/04/21	EPOPOLO	21-00443	NEWJER36 NEW JERSEY FIRE EQUIPMENT COMP 1 SCOTT SUPERCELL BATTERY	813.60	C-04-31-041-00B-400 3141B FD Rescue & Firefighter Equipment	65758	
03/04/21	EPOPOLO	21-00469	NEWJER36 NEW JERSEY FIRE EQUIPMENT COMP 1 FAST ATTACK RIT UNIT	2,439.00	C-04-32-013-00B-130 3213B FD Rescue Equipment Replacement	65751	
03/04/21	EPOPOLO	21-00518	NIELSEN NIELSEN CHRYSER DODGE JEEP RAM 1 Vehicle Repairs	595.64	1-01-28-370-005-405 CP Vehicle Maintenance	751459CHW	
03/04/21	EPOPOLO	21-00435	NJSHADET NJ SHADE TREE FEDERATION 1 DCS 2021 Annual Membership	95.00	1-01-32-465-000-812 CS Licenses and Certifications	M2021-115	
03/04/21	EPOPOLO	21-00253	OSASYSTE OSA SYSTEMS LLC 4 Fire Dep Notif System - CORNOG	840.00	1-01-26-310-000-503 PB&G Community Center Mtn Contracts	14910	
03/04/21	EPOPOLO	21-00184	PETERW50 PETER WALLBURG STUDIO 1 Swearing-In photos	300.00	0-01-20-120-000-811 City Clerk Conf & Mtg Elected Officials	16800	
03/04/21	EPOPOLO	21-00636	PITNEY75 PITNEY BOWES GLOBAL FINANCIAL 2 Mail Machine Lease 0011655947	1,043.79	1-01-20-100-002-203 Postage Machine Lease	3313103221	
03/04/21	EPOPOLO	21-00289	STANDELE STANDARD ELEVATOR CORPORATION 2 Jan Elevator Maintenance BSG	216.30	1-09-55-502-001-402 Parking Building Maintenance	113648	
03/04/21	EPOPOLO	21-00289	STANDELE STANDARD ELEVATOR CORPORATION 3 Jan Elevator Maintenance Tier	225.00	1-09-55-502-001-402 Parking Building Maintenance	113647	
			P.O. Total:	441.30			

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
STATE081 STATE OF NEW JERSEY (DCA 816)							
03/04/21	EPOPOLO	21-00480	1 Hydraulic test BSG #4086043	258.00	1-09-55-502-001-402 Parking Building Maintenance	4086043	
SUMMIT25 SUMMIT ELECTRICAL SUPPLY CO							
03/04/21	EPOPOLO	21-00608	1 Misc supplies inv 59103-1	313.63	C-04-32-013-00A-600 3213A DCS City Hall Building Maintenance	59103-1	
03/04/21	EPOPOLO	21-00608	2 Misc supplies inv 65363-1	358.00	C-04-32-013-00A-600 3213A DCS City Hall Building Maintenance	65363-1	
03/04/21	EPOPOLO	21-00608	3 Misc supplies inv 67718-1	1,123.50	C-04-32-013-00A-600 3213A DCS City Hall Building Maintenance	67718-1	
03/04/21	EPOPOLO	21-00608	4 Misc supplies inv 71405-1	71.80	C-04-32-013-00A-600 3213A DCS City Hall Building Maintenance	71405-1	
03/04/21	EPOPOLO	21-00608	5 Misc supplies inv 72387-1	145.00	C-04-32-013-00A-600 3213A DCS City Hall Building Maintenance	72387-1	
03/04/21	EPOPOLO	21-00608	6 Misc supplies inv 75546-1	261.00	C-04-32-013-00A-600 3213A DCS City Hall Building Maintenance	75546-1	
P.O. Total:				2,272.93			
SUMMIT40 SUMMIT IND. HARDWARE							
03/04/21	EPOPOLO	21-00129	7 ALCOHOL WIPES	119.88	1-01-25-265-000-201 Fire Supplies and Materials	753483	
03/04/21	EPOPOLO	21-00129	8 AIR BAG WEDGE	25.00	1-01-25-265-000-700	753483	
03/04/21	EPOPOLO	21-00129	9 110OZ 50:1 FUEL/OIL	28.04	1-01-25-265-000-705 Fire Trucks (Vehicle Maintenance)	753128	
03/04/21	EPOPOLO	21-00129	10 GAL BAR OIL F4	13.59	1-01-25-265-000-705 Fire Trucks (Vehicle Maintenance)	753128	
03/04/21	EPOPOLO	21-00129	11 1/4 X CLOSE GAL PIPE NIPP	3.38	1-01-25-265-000-705 Fire Trucks (Vehicle Maintenance)	755078	
03/04/21	EPOPOLO	21-00129	12 96" 60W CW FLUO TUBE	94.90	1-01-25-265-000-402 Fire Building Maintenance	757397	
03/04/21	EPOPOLO	21-00129	13 96" 60W CW FLUO TUBE	9.49-	1-01-25-265-000-402 Fire Building Maintenance	757398	
03/04/21	EPOPOLO	21-00129	14 ACT - RECBHD H/DUTY BUT MASTR	49.00	1-01-25-265-000-700 Fire Equipment	757727	
03/04/21	EPOPOLO	21-00129	15 BIG BLUE DOOR KIT	109.00	1-01-25-265-000-700 Fire Equipment	757727	
03/04/21	EPOPOLO	21-00129	16 INF/AIR WEDGE	38.00	1-01-25-265-000-700 Fire Equipment	757727	
03/04/21	EPOPOLO	21-00129	17 PROTECTIVE TIPS	12.99	1-01-25-265-000-700 Fire Equipment	757727	
03/04/21	EPOPOLO	21-00129	18 SHIPPING & HANDLING	12.00	1-01-25-265-000-700 Fire Equipment	757727	
03/04/21	EPOPOLO	21-00129	19 2X4 GALV PIPE NIPPLE	16.98	1-01-25-265-000-700 Fire Equipment	758162	
03/04/21	EPOPOLO	21-00129	20 2 45 BLACK ST ELBOWS	6.79	1-01-25-265-000-700 Fire Equipment	758162	
03/04/21	EPOPOLO	21-00129	21 2" GALV STREET 45	7.64	1-01-25-265-000-700 Fire Equipment	758162	
03/04/21	EPOPOLO	21-00129	22 PIPE COMPOUND TUBES	2.37	1-01-25-265-000-700	758162	

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
					Fire Equipment		
			P.O. Total:	530.07			
03/04/21	EPOPOLO	21-00433	SUMMIT40 SUMMIT IND. HARDWARE 1 755925 Blue Tape	8.99	1-01-28-370-005-201 CP Supplies and Materials	755925	
03/04/21	EPOPOLO	21-00248	WBMAISON W.B. MASON CO, INC 1 sugar	10.52	1-09-55-502-001-201 Parking Supplies and Materials	217397299	
03/04/21	EPOPOLO	21-00248	2 breakfast blend coffee	25.98	1-09-55-502-001-201 Parking Supplies and Materials	217397299	
03/04/21	EPOPOLO	21-00248	3 napkins	4.39	1-09-55-502-001-201 Parking Supplies and Materials	217397299	
03/04/21	EPOPOLO	21-00248	4 ink -yellow, magenta,cyan	320.94	1-09-55-502-001-201 Parking Supplies and Materials	217397299	
03/04/21	EPOPOLO	21-00248	5 ink black	66.28	1-09-55-502-001-201 Parking Supplies and Materials	217397299	
03/04/21	EPOPOLO	21-00248	6 post its	9.78	1-09-55-502-001-201 Parking Supplies and Materials	217397299	
03/04/21	EPOPOLO	21-00248	7 5x8 notebook	35.64	1-09-55-502-001-201 Parking Supplies and Materials	217397299	
03/04/21	EPOPOLO	21-00248	8 coffee creamer	11.62	1-09-55-502-001-201 Parking Supplies and Materials	217397299	
03/04/21	EPOPOLO	21-00248	9 post its 3x3	19.14	1-09-55-502-001-201 Parking Supplies and Materials	217397299	
03/04/21	EPOPOLO	21-00248	10 legal pads	43.14	1-09-55-502-001-201 Parking Supplies and Materials	217397299	
			P.O. Total:	547.43			
03/04/21	EPOPOLO	21-00596	WURTHUSA WURTH USA INC 1 PLOW BULTS	60.02	1-01-26-315-000-611 Garage RRM Vehicle Maintenance	96944030	
03/04/21	EPOPOLO	21-00596	2 PLOW BULTS	60.03	1-01-26-315-000-612 Garage PW Vehicle Maintenance	96944030	
03/04/21	EPOPOLO	21-00596	3 PLOW BULTS	60.03	1-01-26-315-000-619 Garage RPST Vehicle Maintenance	96944030	
03/04/21	EPOPOLO	21-00596	4 PLOW BULTS	60.03	1-07-55-502-004-405 Sewer Operating Vehicle Maintenance	96944030	
			P.O. Total:	240.11			
			Total for Batch: EPOPOLO	24,270.79			
			Total for Date: 03/04/21		Total for All Batches:	24,270.79	

03/05/21	EPOPOLO	20-02648	AMAZON50 AMAZON.COM LLC 1 Bill Acceptor Cleaning Cards	181.93	0-09-55-502-001-204 Parking Supplies - DeForest Avenue	114624176441906
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03/05/21	EPOPOLO	20-02666	AMAZON50 AMAZON.COM LLC 1 3 FT. HDMI Cord	5.99	0-01-20-100-000-201 A&E Supplies and Materials	114318344560226
03/05/21	EPOPOLO	20-02666	2 23.8 inch LED Monitor	124.99	0-01-20-100-000-201 A&E Supplies and Materials	114318344560226
			P.O. Total:	130.98		
03/05/21	EPOPOLO	20-02752	AMAZON50 AMAZON.COM LLC 1 USB Hub - for A. Cairns	7.99	0-01-20-100-000-201 A&E Supplies and Materials	114642219461666
03/05/21	EPOPOLO	20-02752	2 Shipping	5.99	0-01-20-100-000-201 A&E Supplies and Materials	114642219461666
			P.O. Total:	13.98		
03/05/21	EPOPOLO	20-02753	AMAZON50 AMAZON.COM LLC 1 FlexiSpot Standing Desk	99.99	0-01-20-130-000-201 FA Supplies & Materials	114335408431306
03/05/21	EPOPOLO	21-00157	AMAZON50 AMAZON.COM LLC 1 Galaxy Buds114-4759996-7655443	109.76	0-01-20-100-000-201 A&E Supplies and Materials	114475999676554
03/05/21	EPOPOLO	21-00162	AMAZON50 AMAZON.COM LLC 1 Phone cases114-7975069-1317815	59.97	0-01-32-465-000-509 CS Cell Services	114797506913178
03/05/21	EPOPOLO	21-00172	AMAZON50 AMAZON.COM LLC 1 35" standing desk R Licatese	149.99	0-01-20-120-000-201 City Clerk Supplies and Materials	4676985-8182600
03/05/21	EPOPOLO	21-00380	AMAZON50 AMAZON.COM LLC 1 Take home craft supplies schoo	574.93	1-01-55-271-000-003 Library Fines Account	676459533365
03/05/21	EPOPOLO	21-00513	AMAZON50 AMAZON.COM LLC 1 Craft items for aftershcool	189.88	1-01-55-271-000-003 Library Fines Account	0121858
03/05/21	EPOPOLO	21-00513	2 The Duke who Dindn't, parenting	29.56	1-01-29-390-000-217 Library Books	83430
			P.O. Total:	219.44		
03/05/21	EPOPOLO	21-00637	AQUAFR AQUA FRESCA AND JAVA 2 Water Cooler Rentals 1001931	900.00	1-01-20-100-006-204 Municipal Purchasing Office Water	1003050
03/05/21	EPOPOLO	20-00285	CANONFIN CANON FINANCIAL SERVICES INC 5 Quarterly Billing Cycle	1,443.00	0-01-25-240-000-500 POL Contract Svcs	26012124

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03/05/21	EPOPOLO	21-00045	CINTASCO CINTAS CORPORATION NO. 2 2 Mops & Rags 1/5/21	31.81	1-01-26-310-000-502 PB&G City Hall Maintenance Contracts	4072057891
03/05/21	EPOPOLO	21-00045	3 Mops & Rags 1/19/21	31.81	1-01-26-310-000-502 PB&G City Hall Maintenance Contracts	4073415368
03/05/21	EPOPOLO	21-00045	7 MOP & RAG 2/16/2021	31.81	1-01-26-310-000-502 PB&G City Hall Maintenance Contracts	4075987276
03/05/21	EPOPOLO	21-00045	8 MOP & RAG 2/23/2021	31.81	1-01-26-310-000-502 PB&G City Hall Maintenance Contracts	4076604449
			P.O. Total:	127.24	PB&G City Hall Maintenance Contracts	
03/05/21	EPOPOLO	21-00515	CONSTANT CONSTANT CONTACT INC 1 email plus upto 5000 contacts	546.00	1-01-29-390-000-221 Library Machine Electronic	TQAGBYTAB4721
03/05/21	EPOPOLO	21-00447	CONTINEN CONTINENTAL FIRE & SAFETY INC 1 TEMPEST VS 1.2 PPV 910-1825T1	4,432.75	C-04-30-084-00G-010 3084G FD Tower Fire Truck	Q# 21-1137
03/05/21	EPOPOLO	21-00447	2 SHIPPING	150.00	C-04-30-084-00G-010 3084G FD Tower Fire Truck	Q# 21-1137
			P.O. Total:	4,582.75		
03/05/21	EPOPOLO	21-00486	DEALVA50 DEALVAREZ, GEORGE 1 2020 Retiree Health Reimburse	1,450.00	T-13-56-800-021-090 Self Insurance 2021 Other	REIMBURSEMENT
03/05/21	EPOPOLO	20-01520	DIFRA005 DIFRANCESCO BATEMAN KUNZMAN 9 Nov 2020 Billing	9,145.54	0-01-20-150-000-504 TA Tax Appeals Legal Srvcs DiFrancesco	NOV 2020
03/05/21	EPOPOLO	20-01520	10	13,482.00	0-01-20-150-000-504 TA Tax Appeals Legal Srvcs DiFrancesco	DEC 2020
03/05/21	EPOPOLO	20-01520	11 Missed Bills April 2020	5,508.00	0-01-20-150-000-504 TA Tax Appeals Legal Srvcs DiFrancesco	APRIL 2020 MISS
			P.O. Total:	28,135.54		
03/05/21	EPOPOLO	20-02397	EZPASSVP E-Z PASS VIOLATIONS PROCS CNTR 1 TOLL DUE/ADMIN FEE	52.90	0-01-26-306-000-223 TS Tolls	02538234011664
03/05/21	EPOPOLO	21-00055	FANW0050 FANWOOD CRUSHED STONE 3 NJDOT RCA/DGA 1/21/21	61.86	1-01-26-290-000-211 RRM Road Materials	6057441
03/05/21	EPOPOLO	21-00174	FIRE ONE FIREFIGHTER ONE LLC 1 Apparatus on-site service	125.00	0-01-25-265-000-705 Fire Trucks (Vehicle Maintenance)	10271633
			HILERTRK HILER TRUCKING LLC			

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03/05/21	EPOPOLO	21-00519	1 EMGERGENCY SNOW HAULING	4,000.00	1-01-26-290-000-407 RRM Snow Removal Services	047233	
03/05/21	EPOPOLO	21-00245	JCPL0050 JCP&L 3 SUMMIT REC COMM	1,956.13	1-01-31-430-000-100 Electricity	95566451558	
03/05/21	EPOPOLO	21-00453	JCPL0050 JCP&L 3 100005845282 CITY HALL	10,254.30	1-01-31-435-000-000 STREET LIGHTING	95008984345	
03/05/21	EPOPOLO	21-00455	JCPL0050 JCP&L 3 100005845548 CITY FLOOD LIGHTS	34.95	1-01-31-435-000-000 STREET LIGHTING	95776088972	
03/05/21	EPOPOLO	21-00599	JCPL0050 JCP&L 2 100034766962 SPRINGFIELD AVE	1,208.93	1-01-31-430-000-100 Electricity	9543675745	
03/05/21	EPOPOLO	21-00615	JCPL0050 JCP&L 2 100137747752 SUMMIT BLK LT 00	1,864.02	1-01-31-430-000-100 Electricity	95436575893	
03/05/21	EPOPOLO	21-00405	MACKINBO MACKIN BOOK COMPANY 1 Tumblepremium 1 yr renew subsc	799.00	1-01-29-390-000-221 Library Machine Electronic	86026	
03/05/21	EPOPOLO	21-00402	MAZZASLA MAZZA'S LANDSCAPING CONST. LLC 2 Snow Removal 2/3 9pm-12am	450.00	1-01-26-290-000-407 RRM Snow Removal Services		FEB 3 2021
03/05/21	EPOPOLO	21-00402	3 Snow Removal 2/4 12am-7am	1,050.00	1-01-26-290-000-407 RRM Snow Removal Services		FEB 4 2021
03/05/21	EPOPOLO	21-00402	4 Snow Removal 2/4 9pm-12am	450.00	1-01-26-290-000-407 RRM Snow Removal Services		FEB 4 2021
03/05/21	EPOPOLO	21-00402	5 Snow Removal 2/5 12am-6am	900.00	1-01-26-290-000-407 RRM Snow Removal Services		FEB 5 2021
			P.O. Total:	2,850.00			
03/05/21	EPOPOLO	21-00169	NELSON66 NELSON, DONALD 1 SFD food 12/15/20 storm	47.11	0-01-25-265-000-808 Fire Personal Expenses	SHOP RITE	
03/05/21	EPOPOLO	20-02623	NEWJER36 NEW JERSEY FIRE EQUIPMENT COMP 1 SCOTT AV-3000 ADAPTERSs	990.00	0-01-25-265-000-700 Fire Equipment	65524	
03/05/21	EPOPOLO	20-02623	2 CASE P-100 FILTERS	235.00	0-01-25-265-000-700 Fire Equipment	65524	
			P.O. Total:	1,225.00			

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03/05/21	EPOPOLO	21-00552	1 REFUND 1Q 2021 TAXES 402/12	2,008.50	1-01-55-205-000-000 Tax Overpayments	REF 1ST Q TAX	
03/05/21	EPOPOLO	21-00378	1 PECKHA50 PECKHAM INDUSTRIES INC Liquid Calcium	1,404.00	1-01-26-290-000-408 RRM Snow Removal Materials	925381	
03/05/21	EPOPOLO	21-00537	1 POWERP50 POWER PLACE INC DPW Tractor Repair	329.86	1-01-26-315-000-609 Garage RPST Equipment Maintenance	1605877	
03/05/21	EPOPOLO	21-00179	1 READSAUT READ'S AUTO PARTS CO INC Ubolts/fuel fil/filters	160.00	0-01-25-265-000-705 Fire Trucks (Vehicle Maintenance)	819093/819705	
03/05/21	EPOPOLO	21-00077	1 SOSGAS50 SOS GASES INC CYLINDER RENTAL	32.00	1-01-26-306-000-202 TS Supplies and Materials	152979-R	
03/05/21	EPOPOLO	21-00077	1 7 INS SURCHARGE	3.50	1-01-26-306-000-202 TS Supplies and Materials	152979-R	
			P.O. Total:	35.50			
03/05/21	EPOPOLO	20-02348	1 TYLERTEC TYLER TECHNOLOGIES, INC CUSTOMER 52878 MOBILE EYES	4,855.00	0-01-25-265-000-500 Fire Contract Services	025-318152	
03/05/21	EPOPOLO	21-00529	1 UNIQCOLL UNIQUE NATIONAL COLLECTIONS Monthly collection agency char	600.00	1-01-29-390-000-222 Library Operations	02172021	
03/05/21	EPOPOLO	21-00416	1 VERIZON1 VERIZON 654 793 893 0001 16 BLANKET	149.99	1-01-31-440-000-000 TELEPHONE	3/15/2021	
03/05/21	EPOPOLO	21-00478	1 VILLAGES VILLAGE SUPER MARKET, INC. 02940219115 TryCan Cooking	72.47	1-28-71-300-TRY-OPE RT-RAP TryCAN Operations	SHOP RITE	
03/05/21	EPOPOLO	21-00543	1 WORRAL33 WORRALL COMMUNITY NEWSPAPERS Job Advertisement- Police off.	65.50	1-01-25-240-000-804 POL Training & Seminars	209280/FEB 2021	
03/05/21	EPOPOLO	21-00590	1 WURTHUSA WURTH USA INC NUTS FOR SNOW PLOW BOLTS	193.00	1-01-26-315-000-611 Garage RRM Vehicle Maintenance	96941460	
			Total for Batch: EPOPOLO	73,078.52			
			Total for Date: 03/05/21	Total for All Batches:	73,078.52		

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03/06/21	EPOPOLO	21-00027	AIRBRA50 AIR BRAKE EQUIPMENT 13 Work Lamps #64	157.80	1-01-26-315-000-613 Garage G&T Vehicle Maintenance	302229	
03/06/21	EPOPOLO	21-00027	14 Air Hoses #71	109.55	1-01-26-315-000-615 Garage TS Vehicle Maintenance	302231	
			P.O. Total:	267.35			
03/06/21	EPOPOLO	21-00522	ALLCOU66 ALL COUNTY SEWER & DRAIN SRVC 2 SEWER BLOCKAGE-COMMUNITY CNTR	585.00	1-01-26-310-000-418 PB&G Repairs - 100 Morris Ave Comm Cntr	36029	
03/06/21	EPOPOLO	21-00522	3 SAT EMRGNCY SRVC CHRG	265.00	1-01-26-310-000-418 PB&G Repairs - 100 Morris Ave Comm Cntr	35990	
03/06/21	EPOPOLO	21-00522	4 SEWER BLOCKAGE-COMMUNITY CNTR	585.00	1-01-26-310-000-418 PB&G Repairs - 100 Morris Ave Comm Cntr	35990	
			P.O. Total:	1,435.00			
03/06/21	EPOPOLO	21-00530	ANJEC050 ANJEC 1 2021 Annual Membership Renewal	450.00	1-01-32-465-000-806 CS Memberships	2021 MEMBERSHIP	
03/06/21	EPOPOLO	21-00587	BERGERME BERGER, MELISSA 1 REIMB QPA RENWAL CERTIFICATION	35.00	1-01-20-130-000-809 FA Conferences/Meetings/Dues/Training	REIMB QPA CERT	
03/06/21	EPOPOLO	21-00036	BROADW25 BROADWAY DINER 2 DPW O.T. Breakfast 2/8	4.90	1-01-26-290-000-408 RRM Snow Removal Materials	7899	
03/06/21	EPOPOLO	21-00266	BUY-WI50 BUY-WISE AUTO PARTS 4 Misc. Vehicle Service Repairs	365.09	1-01-25-240-000-703 POL Vehicle Maintenance	10KU1133	
03/06/21	EPOPOLO	21-00475	CANONB66 CANON BUSINESS SOLUTIONS-EAST 3 4035430197 Maint. 1/16-2/15	58.30	1-01-28-370-005-500 CP Contract Services	4035430197	
03/06/21	EPOPOLO	20-00294	CERTIF75 CERTIFIED SPEEDOMETER SERVICE 4 Vehicle Calibrations	312.00	0-01-25-240-000-703 POL Vehicle Maintenance	22849	
03/06/21	EPOPOLO	21-00476	CHATHA60 CHATHAM MAIN CONTRACTORS 2 Snow Removal 2/3, 2/4, 2/5	7,875.00	1-01-26-290-000-407 RRM Snow Removal Services	15310	
03/06/21	EPOPOLO	20-01700	CINTASCO CINTAS CORPORATION NO. 2 20 Mops & Rags Dec. 12/29/20	31.81	0-01-26-310-000-502 PB&G City Hall Maintenance Contracts	4071557243	
03/06/21	EPOPOLO	21-00143	CLEANM CLEAN MAT SERVICES LLC 4 March looby floor mats	72.00	1-01-29-390-000-415	243507	

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Library Plant Operation & Maintenance							
03/06/21	EPOPOLO	21-00050	DREYER50 DREYER'S LUMBER & HARDWARE INC 6 1/2" Plywood	123.18	1-01-26-310-000-201 PB&G Supplies and Materials	721145	
03/06/21	EPOPOLO	21-00050	7 1/2" Plywood	41.06	1-01-26-310-000-201 PB&G Supplies and Materials	721159	
03/06/21	EPOPOLO	21-00050	8 2x8x8' Douglas Fir Lumber	58.68	1-01-26-310-000-201 PB&G Supplies and Materials	721306	
			P.O. Total:	222.92			
FINCHFUE FINCH FUEL OIL CO INC							
03/06/21	EPOPOLO	21-00057	2 Fuel Oil -Recycling Building	201.72	1-01-31-447-000-000 HEATING OIL	55486	
03/06/21	EPOPOLO	21-00057	3 Fed Lust Tax	0.12	1-01-31-447-000-000 HEATING OIL	55486	
03/06/21	EPOPOLO	21-00057	4 Fuel Oil - Transfer Station	520.68	1-01-31-447-000-000 HEATING OIL	55247	
03/06/21	EPOPOLO	21-00057	5 Fed Lust Tax	0.30	1-01-31-447-000-000 HEATING OIL	55247	
03/06/21	EPOPOLO	21-00057	6 #2 FUEL OIL	720.11	1-01-31-447-000-000 HEATING OIL	55933	
03/06/21	EPOPOLO	21-00057	7 FED LUST TAX	0.38	1-01-31-447-000-000 HEATING OIL	55933	
03/06/21	EPOPOLO	21-00057	8 #2 FUEL OIL	0.38-	1-01-31-447-000-000 HEATING OIL	56127	
03/06/21	EPOPOLO	21-00057	9 FED LUST TAX	0.38	1-01-31-447-000-000 HEATING OIL	56127	
			P.O. Total:	1,443.31			
GARDEN90 GARDEN STATE VINYL DESIGNS LLC							
03/06/21	EPOPOLO	20-02611	1 Lettering for New Police Car	485.00	0-01-25-240-000-703 POL Vehicle Maintenance	3631	
HOMEFRNT HOMEFRONT PROTECTIVE GROUP INC							
03/06/21	EPOPOLO	21-00497	1 I.C.A.T. Training Course	375.00	1-01-25-240-000-804 POL Training & Seminars	0237	
INDUST28 INDUSTRIAL COOLING CORPORATION							
03/06/21	EPOPOLO	20-02653	1 AHU 3 VFD Alarm Service	240.00	0-01-26-310-000-412 PB&G Repairs - 512 Springfield City Hall	307381	
KOCH33 KOCH HOLDINGS INC							
03/06/21	EPOPOLO	20-02510	2 2020 ford utility police vehic	32,940.00	T-13-56-800-020-010 Self Insurance 2020 Admin -JIF	235216	
LEVITT LEVITT'S							
03/06/21	EPOPOLO	21-00583	1 Calcium Chloride-50lb Bags	2,666.40	1-01-28-375-000-204 P&ST Grounds Maintenance Materials	0174142IN	

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03/06/21	EPOPOLO	21-00085	LIBERT20 LIBERTY CLEANERS 2 Uniform Laundry 1/6/21	17.50	1-01-26-315-000-802 Garage DPW Uniform Cleaning	798446	
03/06/21	EPOPOLO	21-00151	LIBIDEAS LIBRARY IDEAS, LLC 2 Quarterly Vox books	483.40	1-01-29-390-000-219 Library Audio Visual	80874	
03/06/21	EPOPOLO	21-00159	LORCOP50 LORCO PETROLEUM 1 Used oil removal 11/18/2020	145.00	0-01-26-308-000-200 Disposal Charges	1607826	
03/06/21	EPOPOLO	21-00401	MAFFEYSS MAFFEY'S LOCK & SAFE COMPANY 2 Security Camera Service 1/26	320.00	1-01-25-240-000-500 POL Contract Svcs	21-241051	
03/06/21	EPOPOLO	20-02240	MAGLOC50 MAGLOCLEN 1 Magloclen System (DB)	400.00	0-01-25-240-000-500 POL Contract Svcs	5265	
03/06/21	EPOPOLO	21-00088	MORRISPL MORRIS PLAINS SHOES 56 DONALD STEVEN	300.00	1-01-26-315-000-801 Garage Clothing Purchase/Cleaning	006953	
03/06/21	EPOPOLO	21-00088	57 THOMAS FELTER	180.00	1-01-26-315-000-801 Garage Clothing Purchase/Cleaning	006953	
			P.O. Total:	480.00			
03/06/21	EPOPOLO	21-00079	NATIONFU NATIONAL FUEL OIL INC 2 GASOLINE-41 CHATHAM RD	2,965.65	1-01-31-460-000-000 GASOLINE	53420	
03/06/21	EPOPOLO	21-00195	NESTLERR READYREFRESH BY NESTLE 2 Water delivery services	30.93	1-01-27-330-000-300 BOH Office Services	01B0448296178	
03/06/21	EPOPOLO	21-00496	NEWJER66 NJ STATE ASSOC CHIEF OF POLICE 1 New Police Chief Orientation	600.00	1-01-25-240-000-804 POL Training & Seminars	IN9479	
03/06/21	EPOPOLO	21-00544	NJ-AME50 NJ-AMERICAN WATER CO. 2 1018220021694169 12/30-1/28	77.85	1-01-31-445-000-GLF Water - Golf Course	1/21	
03/06/21	EPOPOLO	21-00429	OVERDR OVERDRIVE INC 1 replenish deposit account	3,000.00	1-01-29-390-000-221 Library Machine Electronic	CD0099521043984	
03/06/21	EPOPOLO	21-00498	QUIKTEKS QUIKTEKS LLC 1 VPN Licenses	345.00	1-01-25-240-000-500 POL Contract Svcs	29585	

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STORRT50 STORR TRACTOR CO						
03/06/21	EPOPOLO	21-00531	1 Golf Course mower parts1071309	271.44	1-01-28-370-002-203 Golf Equipment Maintenance Supplies	1071309
03/06/21	EPOPOLO	21-00531	2 Golf course mower parts1071667	616.85	1-01-28-370-002-203 Golf Equipment Maintenance Supplies	1071667
			P.O. Total:	888.29		
SUMMIT22 SUMMIT DINER						
03/06/21	EPOPOLO	21-00097	3 PW OT BREAKFAST ALLOWANCE	154.00	1-01-26-290-000-408 RRM Snow Removal Materials	2/1/2021
03/06/21	EPOPOLO	21-00097	4 PW OT DINNER ALLOWANCE	210.00	1-01-26-290-000-408 RRM Snow Removal Materials	2/1/2021
			P.O. Total:	364.00		
SUMMIT25 SUMMIT ELECTRICAL SUPPLY CO						
03/06/21	EPOPOLO	20-00788	1 City Hall Ceiling Lights	2,807.50	C-04-31-066-00A-500 3166A DCS City Hall Building Maintenance	79652-1
SUMMIT25 SUMMIT ELECTRICAL SUPPLY CO						
03/06/21	EPOPOLO	21-00098	9 CFL 2-PIN LAMP BULB	10.50	1-01-26-310-000-412 PB&G Repairs - 512 Springfield City Hall	82580-1
SYSTEM66 ADT COMMERCIAL LLC						
03/06/21	EPOPOLO	21-00512	1 Fire panel trouble 2 stations	643.55	1-01-29-390-000-415 Library Plant Operation & Maintenance	138677043
THESHA50 THE SHADE TREE DEPARTMENT LLC						
03/06/21	EPOPOLO	20-00916	13 TREE SERVICES - DEC 2020	3,372.17	0-01-28-375-000-515 P&ST Contracted Forester Services	DEC 2020
THYSSE50 THYSSENKRUPP ELEVATOR CORP.						
03/06/21	EPOPOLO	21-00204	2 Elevator maintenance 2/1-4/30	764.05	1-01-29-390-000-415 Library Plant Operation & Maintenance	3005739871
TREASU55 TREASURER, STATE OF NEW JERSEY						
03/06/21	EPOPOLO	21-00319	1 11166W water allocation	205.00	1-01-28-370-002-500 Golf Contract Services	202008270
TRYANJR1 T RYAN JR AUTHORIZED SVC, LLC						
03/06/21	EPOPOLO	21-00312	1 tool head assy protector	255.00	1-01-26-315-000-201 Garage Supplies and Materials	9014KK
VEOLIA50 VEOLIA ES TECHNICAL SOLUTIONS						
03/06/21	EPOPOLO	21-00106	2 RCYCL 4FT FLUORESCENT LAMPS	170.10	1-01-26-308-000-200 Disposal Charges	EW1599625
03/06/21	EPOPOLO	21-00106	3 85 FIBER LAMP DRUM	89.70	1-01-26-308-000-200 Disposal Charges	EW1599625
03/06/21	EPOPOLO	21-00106	4 SURCHARGE	33.77	1-01-26-308-000-200 Disposal Charges	EW1599625
			P.O. Total:	293.57		

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WASTEM50 WASTE MANAGEMENT OF NJ, INC.							
03/06/21	EPOPOLO	21-00084	2 BULKY WASTE	1,332.92	1-01-26-308-000-200 Disposal Charges	0117626-1091-0	
03/06/21	EPOPOLO	21-00084	3 NJ RECYCLE TAX	38.04	1-01-26-308-000-200 Disposal Charges	0117626-1091-0	
03/06/21	EPOPOLO	21-00084	4 BULKY WASTE	402.61	1-01-26-308-000-200 Disposal Charges	0117626-1091-0	
03/06/21	EPOPOLO	21-00084	5 NJ RECYCLE TAX	11.49	1-01-26-308-000-200 Disposal Charges	0117626-1091-0	
03/06/21	EPOPOLO	21-00084	6 BULKY WASTE	1,854.32	1-01-26-308-000-200 Disposal Charges	0117626-1091-0	
03/06/21	EPOPOLO	21-00084	7 NJ RECYCLE TAX	52.92	1-01-26-308-000-200 Disposal Charges	0117626-1091-0	
03/06/21	EPOPOLO	21-00084	8 BULKY WASTE	1,180.50	1-01-26-308-000-200 Disposal Charges	0117626-1091-0	
03/06/21	EPOPOLO	21-00084	9 NJ RECYCLE TAX	33.69	1-01-26-308-000-200 Disposal Charges	0117626-1091-0	
P.O. Total:				4,906.49			
WBMASON W.B. MASON CO, INC							
03/06/21	EPOPOLO	20-01641	136 CAN LINER 40-45 GAL 100 CT	115.96	0-01-26-310-000-201 PB&G Supplies and Materials	212428841	
03/06/21	EPOPOLO	20-01641	137 CLOROX TOILET BWL CLNER	103.02	0-01-26-310-000-201 PB&G Supplies and Materials	212428841	
03/06/21	EPOPOLO	20-01641	138 TISSUE TOILET 96CT	62.98	0-01-26-310-000-201 PB&G Supplies and Materials	212428841	
03/06/21	EPOPOLO	20-01641	139 PINSOL CLNR LEMON	72.78	0-01-26-310-000-201 PB&G Supplies and Materials	212428841	
03/06/21	EPOPOLO	20-01641	140 AVISTAT SPRY DISINFECTANT CLNR	36.99	0-01-26-310-000-201 PB&G Supplies and Materials	212428841	
03/06/21	EPOPOLO	20-01641	141 REFILL DIAL LQD GOLD	81.99	0-01-26-310-000-201 PB&G Supplies and Materials	212624545	
03/06/21	EPOPOLO	20-01641	142 CORDED MOUSE	11.98	0-01-32-465-000-201 CS Supplies and Materials	211446233	
P.O. Total:				485.70			
WBMASON W.B. MASON CO, INC							
03/06/21	EPOPOLO	21-00374	1 1 Dozen Ballpoint Blue Pens	9.06	1-01-20-100-000-201 A&E Supplies and Materials	217319415	
Total for Batch: EPOPOLO				73,149.29			
Total for Date: 03/06/21				73,149.29			
ADVANC50 ADVANCED VIDEO SURVEILLNC INC							
03/09/21	EPOPOLO	21-00135	2 Apr-Jun Central station monito	60.00	1-01-29-390-000-415 Library Plant Operation & Maintenance	ADV-111917	

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/09/21	EPOPOLO	21-00280	AMANOMCG AMANO MCGANN INC 2 2021Now Care Agreement Jan-Apr	14,148.75	1-09-55-502-001-204 Parking Supplies - DeForest Avenue	JAN-APR	
03/09/21	EPOPOLO	21-00132	ANIMALCS ANIMAL CONTROL SOLUTIONS LLC 4 March 2021 monthly fee	4,000.00	T-12-56-800-000-001 Animal Control	3020	
03/09/21	EPOPOLO	21-00408	AT105068 AT&T 3 030 361 4837 001	35.75	1-01-31-440-000-000 TELEPHONE	2/9/2021	
03/09/21	EPOPOLO	21-00409	AT105068 AT&T 3 0303619366001	40.02	1-01-31-440-000-000 TELEPHONE	2/15/2021	
03/09/21	EPOPOLO	20-00121	BAKERT50 BAKER & TAYLOR, INC 27 2020 orders arrived Jan, Feb	2,013.97	0-01-29-390-000-217 Library Books	5016676533	
03/09/21	EPOPOLO	20-00121	BAKERT50 BAKER & TAYLOR, INC 28 Book processing	135.88	0-01-29-390-000-222 Library Operations	5016680387	
			P.O. Total:	2,149.85			
03/09/21	EPOPOLO	21-00141	BAKERT50 BAKER & TAYLOR, INC 5 February books	3,438.46	1-01-29-390-000-217 Library Books	5016690296	
03/09/21	EPOPOLO	21-00141	BAKERT50 BAKER & TAYLOR, INC 6 Feb book processing	275.14	1-01-29-390-000-222 Library Operations	5016728692	
			P.O. Total:	3,713.60			
03/09/21	EPOPOLO	21-00142	BAKERT50 BAKER & TAYLOR, INC 3 Replacement books,processing	331.81	1-01-55-271-000-003 Library Fines Account	5016703948	
03/09/21	EPOPOLO	21-00034	BEYERFRD BEYER FORD 9 MUD FLAPS TRUCK #90	42.50	C-04-32-013-00C-210 3213C DCS Replace F350 4WD Pickup w/plow	701799	
03/09/21	EPOPOLO	21-00034	BEYERFRD BEYER FORD 10 MUD FLAPS	42.50	C-04-32-013-00C-210 3213C DCS Replace F350 4WD Pickup w/plow	701799	
			P.O. Total:	85.00			
03/09/21	EPOPOLO	21-00269	BEYERFRD BEYER FORD 3 Vehicle Maintenance- Car 15	482.52	1-01-25-240-000-703 POL Vehicle Maintenance	601295	
03/09/21	EPOPOLO	21-00602	CAIRNSAM CAIRNS, AMY 1 Canva subsc reim 1/1/21-2/6/22	132.35	1-01-20-100-000-807 A&E Subscriptions	REIMB SUBSCR	

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Contract Invoice Number
03/09/21	EPOPOLO	20-00932	CLEAR005 CLEARY GIACOBBE ALFIERI & 19 General Services Thru 11/23/20	13,928.20	0-01-20-155-000-500 LS Contract Services	88815
03/09/21	EPOPOLO	20-00932	20 COVID Services Thru 12/31/20	504.00	0-01-20-155-000-500 LS Contract Services	89788
03/09/21	EPOPOLO	20-00932	21 7 cedar Services Thru 12/31/20	630.00	0-01-20-155-000-500 LS Contract Services	89787
03/09/21	EPOPOLO	20-00932	22 Litigation Thru 12/31/20	54.00	0-01-20-155-000-500 LS Contract Services	89745
03/09/21	EPOPOLO	20-00932	23 Gagliano v. SZB Thru 12/31/20	531.60	0-01-20-155-000-500 LS Contract Services	89746
			P.O. Total:	15,647.80		
03/09/21	EPOPOLO	21-00241	COMCA840 COMCAST BUSINESS 3 8499 05 329 0172121 44 Springf	153.35	1-01-31-440-000-000 TELEPHONE	2/10/2021
03/09/21	EPOPOLO	21-00362	DIFRA005 DIFRANCESCO BATEMAN KUNZMAN 3 Jan Tax Appeal Counsel Svcs	7,682.00	1-01-20-150-000-504 TA Tax Appeals Legal Srvcs DiFrancesco	JAN 2021
03/09/21	EPOPOLO	21-00460	DIRECTE DIRECT ENERGY BUSINESS 3 614008-29453 41 CHATHAM RD	1,057.72	1-01-31-446-000-000 NATURAL GAS	HS12298600
03/09/21	EPOPOLO	21-00661	DIRECTE DIRECT ENERGY BUSINESS 2 614008-29447 384 BROAD ST	1,384.22	1-01-31-446-000-000 NATURAL GAS	HS12298594
03/09/21	EPOPOLO	21-00663	DIRECTE DIRECT ENERGY BUSINESS 2 614008-29449 512 SPRINGFIELD	2,378.90	1-01-31-446-000-000 NATURAL GAS	HS12298596
03/09/21	EPOPOLO	21-00665	DIRECTE DIRECT ENERGY BUSINESS 2 614008-29451 41 CHATHAM RD	397.40	1-01-31-446-000-000 NATURAL GAS	HS12298598
03/09/21	EPOPOLO	21-00667	DIRECTE DIRECT ENERGY BUSINESS 2 614008-29454 75 MAPLE ST	932.25	1-01-29-390-000-415 Library Plant Operation & Maintenance	HS12298601
03/09/21	EPOPOLO	21-00668	DIRECTE DIRECT ENERGY BUSINESS 2 614008-29455 BUTLER PARKWAY	401.16	1-01-31-446-000-000 NATURAL GAS	HS12298602
03/09/21	EPOPOLO	21-00147	FINDAW50 FINDAWAY WORLD LLC 3 J,YA A/V Playaways	323.69	1-01-29-390-000-219 Library Audio Visual	340346
			FINDAW50 FINDAWAY WORLD LLC			

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/09/21	EPOPOLO	21-00624	1 Replacement Playaway Aru Shah	63.19	1-01-55-271-000-003 Library Fines Account	341178	
			FIREC066 FIRE CONTROL ELECTRICAL SYSTEM				
03/09/21	EPOPOLO	21-00586	1 BSG Fire Alarm Insp/Testing	550.00	1-09-55-502-001-402 Parking Building Maintenance	20201945	
03/09/21	EPOPOLO	21-00586	2 Tier Central Station Monitorin	480.00	1-09-55-502-001-402 Parking Building Maintenance	20201945	
			P.O. Total:	1,030.00			
			GOVERN80 GFOA OF NJ				
03/09/21	EPOPOLO	21-00603	1 2021 membership M Rogers	90.00	1-01-20-100-000-806 A&E Memberships	300004224	
			INTEGRITS INTEGRATED TECHNICAL SYSTEMS				
03/09/21	EPOPOLO	21-00584	1 2021 service contract jan-apr	23,529.00	1-09-55-502-001-403 Parking Equipment Maintenance	SO10998 KD0062	
			KRYSTO33 KRYSTON'S HARWARE LTD				
03/09/21	EPOPOLO	21-00625	1 ice melt,shovel,polyurethane	181.17	1-01-29-390-000-415 Library Plant Operation & Maintenance	5702	
			MIDWES50 MIDWEST TAPE LLC				
03/09/21	EPOPOLO	20-00120	9 Adult replacement books on CD	39.99	0-01-55-271-000-003 Library Fines Account	500042842	
			MIDWES50 MIDWEST TAPE LLC				
03/09/21	EPOPOLO	21-00153	3 J,YA,Adult DVDs,ACD,ADB A/V	1,741.39	1-01-29-390-000-219 Library Audio Visual	99949631	
			NESTLERR READYREFRESH BY NESTLE				
03/09/21	EPOPOLO	21-00407	3 0017660366 2021 WATER	319.05	1-01-31-445-000-100 Water	21B0017660366	
			NJ-AME50 NJ-AMERICAN WATER CO.				
03/09/21	EPOPOLO	21-00457	3 UNION PL 1018-210024718968	15.56	1-01-31-445-000-100 Water	3/01/2021	
			NJ-AME50 NJ-AMERICAN WATER CO.				
03/09/21	EPOPOLO	21-00459	3 BANK ST 1018-210024595189 BLNK	15.56	1-01-31-445-000-100 Water	3/01/2021	
			NJ-AME50 NJ-AMERICAN WATER CO.				
03/09/21	EPOPOLO	21-00556	3 1018-210023342498 422 SPGFLD	15.56	1-01-31-445-000-100 Water	3/01/2021	
			NJ-AME50 NJ-AMERICAN WATER CO.				
03/09/21	EPOPOLO	21-00647	2 100 MORRIS AVE	315.40	1-01-31-445-000-100 Water	2/04/2021	
			NJ-AME50 NJ-AMERICAN WATER CO.				

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/09/21	EPOPOLO	21-00648	2 1018-210023343187 85 LARNED RD	285.88	1-01-31-445-000-100 Water	2/04/2021	
03/09/21	EPOPOLO	21-00649	NJ-AME50 NJ-AMERICAN WATER CO. 2 1018-210023342696 - 25 ELM ST	46.56	1-01-31-445-000-100 Water	2/04/2021	
03/09/21	EPOPOLO	21-00650	NJ-AME50 NJ-AMERICAN WATER CO. 2 1018-210023342191 GLEN AVE	92.52	1-01-31-445-000-100 Water	2/04/2021	
03/09/21	EPOPOLO	21-00651	NJ-AME50 NJ-AMERICAN WATER CO. 2 2018-210023342788 - 25 ELM ST	31.12	1-01-31-445-000-100 Water	2/04/2021	
03/09/21	EPOPOLO	21-00652	NJ-AME50 NJ-AMERICAN WATER CO. 2 1018-210024638345 BROAD ST	60.72	1-09-55-502-001-523 Parking Water	2/04/2021	
03/09/21	EPOPOLO	21-00653	NJ-AME50 NJ-AMERICAN WATER CO. 4 1018-210024652549 85 LARNED IR	256.28	1-01-31-445-000-100 Water	2/04/2021	
03/09/21	EPOPOLO	21-00654	NJ-AME50 NJ-AMERICAN WATER CO. 2 1018-210027063599 683 SPRINFLD	248.87	1-01-31-445-000-100 Water	2/03/2021	
03/09/21	EPOPOLO	21-00655	NJ-AME50 NJ-AMERICAN WATER CO. 2 1018-210023002769 4 MORRIS CT	256.28	1-01-31-445-000-100 Water	2/05/2021	
03/09/21	EPOPOLO	21-00156	PITNEY25 PITNEY BOWES INC 2 postage meter quarterly 3/29	313.05	1-01-29-390-000-222 Library Operations	3312883519	
03/09/21	EPOPOLO	21-00656	PSEG1444 PSE&G 2 70 304 372 09 41 CHATHAM REAR	967.98	1-01-31-446-000-000 NATURAL GAS	2/09/2021	
03/09/21	EPOPOLO	21-00657	PSEG1444 PSE&G 2 100 MORRIS AVE	2,082.49	1-01-31-446-000-000 NATURAL GAS	2/09/2021	
03/09/21	EPOPOLO	21-00658	PSEG1444 PSE&G 2 65 671 139 01 / 41 CHATHAM RD	304.43	1-01-31-446-000-000 NATURAL GAS	2/09/2021	
03/09/21	EPOPOLO	21-00659	PSEG1444 PSE&G 2 6583966700 10-A GLEN AVE PUMP	17.19	1-01-31-446-000-000 NATURAL GAS	2/09/2021	
			PSEG1444 PSE&G				

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Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/09/21	EPOPOLO	21-00660	2 5 MYRTLE AVE 73 349 238 04	773.48	1-01-31-446-000-000 NATURAL GAS	2/09/2021	
03/09/21	EPOPOLO	21-00243	SPECT005 SPECTROTEL HOLDING COMPANY LLC 3 ADMIN TELEPHONES 2020 - 338922	7,740.72	1-01-31-440-000-000 TELEPHONE	1019387	
03/09/21	EPOPOLO	21-00595	SUMMIT25 SUMMIT ELECTRICAL SUPPLY CO 1 Lithonia lights, Emerg LED driv	844.50	1-01-29-390-000-415 Library Plant Operation & Maintenance	83122-1	
03/09/21	EPOPOLO	21-00474	TELVUE TELVUE CORPORATION 2 Monthly Webus Support	450.00	1-01-20-100-004-500 Technology Contracted Services	14693	
03/09/21	EPOPOLO	21-00474	3 cloud-Based Transcoding	960.00	1-01-20-100-004-500 Technology Contracted Services	14694	
			P.O. Total:	1,410.00			
03/09/21	EPOPOLO	20-02130	TRIANG50 TRIANGLE COMMUNICATIONS, LLC 1 Emergency lighting	5,211.59	C-04-32-013-00C-100 3213C FD Replace Fire Prevention Vehicle	22174	
03/09/21	EPOPOLO	21-00293	VERIZ408 VERIZON WIRELESS 3 Dig Paystation Modems-February	2,539.31	1-09-55-502-001-310 Parking Electronic Costs	9874043520	
03/09/21	EPOPOLO	21-00411	VERIZON1 VERIZON 3 552 031 077 0001 95 FD BLANKET	131.99	1-01-31-440-000-000 TELEPHONE	2/09/2021	
03/09/21	EPOPOLO	21-00412	VERIZON1 VERIZON 3 355-470-216-0001-96	146.38	1-01-31-440-000-000 TELEPHONE	2/10/2021	
03/09/21	EPOPOLO	21-00413	VERIZON1 VERIZON 3 656 381 901 0001 59 BLANKET	104.65	1-01-31-440-000-000 TELEPHONE	2/11/2021	
			Total for Batch: EPOPOLO	106,760.00			
			Total for Date: 03/09/21	Total for All Batches:	106,760.00		

03/10/21	ADMIN	21-00674	JPMONZOM JPMONZO MUNICIPAL CONSULTING 1 Licensing for RMC	50.00	1-01-20-120-000-201 City Clerk Supplies and Materials	RMC LICENSING
			Total for Batch: ADMIN	50.00		
03/10/21	EPOPOLO	21-00031	ARMPCO50 ARMPCO OFFICE MACHINES, INC. 2 B/W Copier Service	51.65	1-01-32-465-000-701	IN19705

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
CS Equipment							
03/10/21	EPOPOLO	21-00638	CITYOF81 CITY OF SUMMIT TREASURERS ACCT 1 2020 LIBRARY PAYOVR PR PROCESS	3,500.00	0-01-29-390-000-817 Library Payroll Processing	2020 PROCS FEES	
03/10/21	EPOPOLO	21-00638	2 2020 LIBRARY PAYOVR DCRP	3,217.92	0-01-29-390-000-816 Library DCRP/Group Life/Disability	2020 DCRP	
			P.O. Total:	6,717.92			
CITYOF81 CITY OF SUMMIT TREASURERS ACCT							
03/10/21	EPOPOLO	21-00639	1 2020 LIBRARY PAYOVR HLTH/DENTA	142,334.94	0-01-29-390-000-814 Library Fringe Benefits Hlth/Dntl	PAYOVR HLTH/DEN	
03/10/21	EPOPOLO	21-00639	3 2020 LIBRARY PAYOVR BLDG INS	42,000.00	0-01-29-390-000-815 Library Building Insurance	PAYPVR BLDG INS	
03/10/21	EPOPOLO	21-00639	4 2020 LIBRARY PAYOVR ACCD INS	3,000.00	0-01-29-390-000-818 Library Accident Insurance	PAYPVR ACCD INS	
			P.O. Total:	187,334.94			
CUSTOM25 CUSTOM BANDAG INC							
03/10/21	EPOPOLO	20-00052	65 Trailer Tire #79	318.79	0-01-26-315-000-615 Garage TS Vehicle Maintenance	70177815	
FBASSOJR F BASSO JR RUBBISH REMOVAL INC							
03/10/21	EPOPOLO	21-00053	4 Curbside Recycling- FEB 2021	42,300.00	1-01-26-305-001-512 Recycling Curbside Collection	0221-0216	
03/10/21	EPOPOLO	21-00053	5 Violation Fees-FEBRUARY 2021	4,580.00	1-01-26-305-001-512 Recycling Curbside Collection	212021-DCS	
			P.O. Total:	37,720.00			
FEDEX050 FEDEX							
03/10/21	EPOPOLO	21-00669	2 FEDEX EXPRESS SERVICES BLANKET	129.27	1-01-20-100-002-204 Postage Fedex	7-277-02009	
FINCHFUE FINCH FUEL OIL CO INC							
03/10/21	EPOPOLO	21-00057	10 #2 FUEL OIL	486.39	1-01-31-447-000-000 HEATING OIL	56578	
03/10/21	EPOPOLO	21-00057	11 FED LUST TAX	0.24	1-01-31-447-000-000 HEATING OIL	56578	
			P.O. Total:	486.63			
GARYRUSS GARY RUSSELL							
03/10/21	EPOPOLO	21-00719	1 PARKING REFUND	3.00	1-09-08-503-000 Parking Revenues (Refunds)	REFUND	
JCPL0050 JCP&L							
03/10/21	EPOPOLO	21-00246	3 100007664368 301 BROAD	1,067.89	1-09-55-502-001-520 Parking Electricity	95706262207	

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/10/21	EPOPOLO	21-00450	JCPL0050 JCP&L 3 100062732993 BUS SHELTER	66.65	1-01-31-430-000-100 Electricity	95256933964	
03/10/21	EPOPOLO	21-00451	JCPL0050 JCP&L 3 100005845241 CITY HALL	793.61	1-01-31-435-000-000 STREET LIGHTING	95776088971	
03/10/21	EPOPOLO	21-00452	JCPL0050 JCP&L 3 100005626567 CONSTANTINE PUMP	4,755.02	1-07-55-502-004-601 Sewer Operating Pumps	98809239894	Electricity
03/10/21	EPOPOLO	21-00454	JCPL0050 JCP&L 3 100005845316 CITY HALL	1,408.75	1-01-31-435-000-000 STREET LIGHTING	95008984346	
03/10/21	EPOPOLO	21-00684	JCPL0050 JCP&L 2 100 124 583 210 40 NEW PROV RD	269.62	1-01-31-430-000-100 Electricity	95406579975	
03/10/21	EPOPOLO	21-00685	JCPL0050 JCP&L 2 100111640320 80 BUTLER SHACK	28.05	1-01-31-430-000-100 Electricity	95406579969	
03/10/21	EPOPOLO	21-00686	JCPL0050 JCP&L 2 100103385231 5 MYRTLE	18.84	1-01-31-430-000-100 Electricity	95406579965	
03/10/21	EPOPOLO	21-00687	JCPL0050 JCP&L 2 100064741075 MORRIS & SUMMIT	158.08	1-01-31-430-000-100 Electricity	95406579951	
03/10/21	EPOPOLO	21-00688	JCPL0050 JCP&L 2 100064741067 MORRIS & MAPLE	58.68	1-01-31-430-000-100 Electricity	95406579950	
03/10/21	EPOPOLO	21-00690	JCPL0050 JCP&L 2 100064738923 GLEN供给侧 & BALTUS	131.46	1-01-31-430-000-100 Electricity	95406579947	
03/10/21	EPOPOLO	21-00692	JCPL0050 JCP&L 2 100064741042 MORRIS & BROAD	149.95	1-01-31-430-000-100 Electricity	95406579948	
03/10/21	EPOPOLO	21-00693	JCPL0050 JCP&L 2 100064738915 MORRIS & GLEN供给侧	123.99	1-01-31-430-000-100 Electricity	95406579946	
03/10/21	EPOPOLO	21-00694	JCPL0050 JCP&L 2 100064737099 MORRIS & KENT	153.64	1-01-31-430-000-100 Electricity	95406579945	

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/10/21	EPOPOLO	21-00696	JCPL0050 JCP&L 2 100050758117 BROAD STREET	146.43	1-01-31-430-000-100 Electricity	95406579938	
03/10/21	EPOPOLO	21-00697	JCPL0050 JCP&L 2 100101541801 0 SPRINGFIELD	156.46	1-01-31-430-000-100 Electricity	95406579964	
03/10/21	EPOPOLO	21-00698	JCPL0050 JCP&L 2 100081908319 41 CHATHAM	15.81	1-01-31-430-000-100 Electricity	95406579959	
03/10/21	EPOPOLO	21-00699	JCPL0050 JCP&L 2 100048610792 41 CHATHAM	4,735.24	1-01-31-430-000-100 Electricity	95406579935	
03/10/21	EPOPOLO	21-00700	JCPL0050 JCP&L 2 100064741059 MORRIS & PROSPECT	147.72	1-01-31-430-000-100 Electricity	95406579949	
03/10/21	EPOPOLO	21-00701	JCPL0050 JCP&L 2 10007387649 MORRIS & MOUNTAIN	173.80	1-01-31-430-000-100 Electricity	95256933971	
03/10/21	EPOPOLO	21-00702	JCPL0050 JCP&L 2 100114917170 SHUNPIKE ROAD	113.19	1-01-31-430-000-100 Electricity		SERVICE NOTICE
03/10/21	EPOPOLO	21-00703	JCPL0050 JCP&L 2 100034766962 SPRINGFIELD AVE	1,208.93	1-01-31-430-000-100 Electricity		SERVICE NOTICE
03/10/21	EPOPOLO	21-00704	JCPL0050 JCP&L 2 100138516024 SUMMIT SHELL 7-11	224.52	1-01-31-430-000-100 Electricity	95406579980	
03/10/21	EPOPOLO	21-00705	JCPL0050 JCP&L 2 100140888965 40 NEW PROV AVE	173.78	1-01-31-430-000-100 Electricity	95406579982	
03/10/21	EPOPOLO	21-00706	JCPL0050 JCP&L 2 100005180201 NJ DOT LOT	113.90	1-09-55-502-001-520 Parking Electricity	95356656375	
03/10/21	EPOPOLO	21-00707	JCPL0050 JCP&L 2 100034766905 905 UNION AVE	862.68	1-01-31-430-000-100 Electricity	95406579931	
03/10/21	EPOPOLO	21-00708	JCPL0050 JCP&L 2 100034766954 BANK STREET	232.99	1-01-31-430-000-100 Electricity	95406579932	

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/10/21	EPOPOLO	21-00709	JCPL0050 JCP&L 2 100113542227 PASSAIC BLK LT 1	128.26	1-01-31-430-000-100 Electricity	95406579972	
03/10/21	EPOPOLO	21-00710	JCPL0050 JCP&L 2 100113540429 NEW ENGLAND	120.79	1-01-31-430-000-100 Electricity	95406579971	
03/10/21	EPOPOLO	21-00711	JCPL0050 JCP&L 2 100060906920 CEDAR STREET	10.12	1-09-55-502-001-520 Parking Electricity	95706262228	
03/10/21	EPOPOLO	21-00712	JCPL0050 JCP&L 2 100081217810 CLAREMONT CORP	258.96	1-01-31-430-000-100 Electricity	95436575763	
03/10/21	EPOPOLO	21-00713	JCPL0050 JCP&L 2 100051492492 MORRIS AVE LOT	89.14	1-09-55-502-001-520 Parking Electricity	95436575754	
03/10/21	EPOPOLO	21-00714	JCPL0050 JCP&L 2 100047563711 BRYANT PARK ST LG	41.31	1-01-31-435-000-000 STREET LIGHTING	95137516848	
03/10/21	EPOPOLO	21-00715	JCPL0050 JCP&L 2 100005954571 512 SPRINGFIELD	8,199.16	1-01-31-430-000-100 Electricity	95436575639	
03/10/21	EPOPOLO	21-00716	JCPL0050 JCP&L 2 100004835532 NEW PROV AVE SWR	835.31	1-07-55-502-004-601 Sewer Operating Pumps	95426590976	
03/10/21	EPOPOLO	21-00717	JCPL0050 JCP&L 2 100052171673 512 SPRINGFIELD	58.73	1-01-31-430-000-100 Electricity	95137516850	
03/10/21	EPOPOLO	18-03663	MASERC50 MASER CONSULTING PA 28 Professional Services GIS serv	431.25	C-04-30-066-00F-030 3066 GIS Computer Equipment	0000636802	
03/10/21	EPOPOLO	18-03230	MOTTMACD MOTT MACDONALD LLC 5 Golf Course Impr. permitting	1,325.36	C-04-31-014-00A-058 3114A DCS Municipal	507429877	
03/10/21	EPOPOLO	21-00545	NJ-AME50 NJ-AMERICAN WATER CO. 2 1018210023341990 100 Ashwood	124.44	1-01-31-445-000-FAC Water - Family Aquatic Center	1/21	
03/10/21	EPOPOLO	21-00346	PRINTME PRINT MEDIA LLC 1 UCC Plan Review Stamp 1-RED	30.00	1-18-00-701-000-201 UCC Office Supplies	22570	
03/10/21	EPOPOLO	21-00346	PRINTME PRINT MEDIA LLC 2 UCC Plan Review Stamp 2-RED	25.00	1-18-00-701-000-201	22570	



Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
TELEPHONE							
03/10/21	EPOPOLO	21-00419	VERIZ408 VERIZON WIRELESS 3 682164944-00001	2,545.08	1-01-31-440-000-000 TELEPHONE	9873348601	
VERIZON1 VERIZON							
03/10/21	EPOPOLO	21-00415	3 454 790 548 0001 96 BLANKET	149.99	1-01-31-440-000-000 TELEPHONE	2/20/2021	
VERIZON1 VERIZON							
03/10/21	EPOPOLO	21-00417	3 151 907 182 0001 93 BLANKET	129.99	1-01-31-440-000-000 TELEPHONE	2/21/2021	
VERIZON1 VERIZON							
03/10/21	EPOPOLO	21-00671	2 154 804 795 0001 64 BLANKET	149.99	1-01-31-440-000-000 TELEPHONE	2/06/2021	
VERIZON1 VERIZON							
03/10/21	EPOPOLO	21-00672	2 852-098-463-0001-51 BLANKET	303.45	1-01-31-440-000-000 TELEPHONE	1/18/2021	
03/10/21	EPOPOLO	21-00672	3 852-098-463-0001-51 BLANKET	301.99	1-01-31-440-000-000 TELEPHONE	2/18/2021	
P.O. Total:					605.44		
VERIZON1 VERIZON							
03/10/21	EPOPOLO	21-00718	2 155 620 595 0001 99 BLANKET	114.99	1-01-31-440-000-000 TELEPHONE	2/01/2021	
Total for Batch: EPOPOLO					272,523.58		
ALLENP50 ALLEN PAPER & SUPPLY CO							
03/10/21	FINANCE	21-00139	3 wipall,disinfectant cleaner so	294.00	1-01-29-390-000-415 Library Plant Operation & Maintenance	92617	
CITYOF36 CITY OF SUMMIT HOUSING AUTHORITY							
03/10/21	FINANCE	21-00695	1 PAYOVER CDBG # 019-292	5,000.00	T-17-56-800-000-001 Community Development	PAYOVER	
COMCAS69 COMCAST							
03/10/21	FINANCE	21-00144	4 8499053290185248period3/10-4/9	305.84	1-01-29-390-000-222 Library Operations	03082021	
DELTAD50 DELTA DENTAL							
03/10/21	FINANCE	21-00237	8 Delta Dental Plan03432-004 MAR	8,356.50	T-13-56-800-021-020 Self Insurance 2021 Hlth/Dntl/Life	PM734214	
03/10/21	FINANCE	21-00237	9 Delta Dental Plan03432-002 MAR	5,217.60	T-13-56-800-021-020 Self Insurance 2021 Hlth/Dntl/Life	PM731636	
03/10/21	FINANCE	21-00237	10 Delta Dental Plan03432-001 MAR	3,053.24	T-13-56-800-021-020 Self Insurance 2021 Hlth/Dntl/Life	PM731204	
P.O. Total:					16,627.34		

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/10/21	FINANCE	21-00489	FISHER66 FISHER, ROBERT 1 2020 Retiree Health Benefits	1,450.00	T-13-56-800-021-090 Self Insurance 2021 Other	REIMBURSEMENT	
03/10/21	FINANCE	21-00325	FLAGSH50 FLAGSHIP DENTAL PLANS 5 FLAGSHIP DELTA 2021 MARCH	306.89	T-13-56-800-021-020 Self Insurance 2021 Hlth/Dntl/Life	133349	
03/10/21	FINANCE	21-00154	NJ-AME50 NJ-AMERICAN WATER CO. 4 1018-2102719614 2/2/21-3/2/21	79.70	1-01-29-390-000-415 Library Plant Operation & Maintenance	03032021	
03/10/21	FINANCE	21-00155	NJ-AME50 NJ-AMERICAN WATER CO. 4 1018-210023342887 1/5-3/2/21	107.32	1-01-29-390-000-415 Library Plant Operation & Maintenance	332021	
03/10/21	FINANCE	21-00321	PRUDENTI The Prudential Insurance 4 2021 LIFE INSURANCE MARCH	397.12	T-13-56-800-021-020 Self Insurance 2021 Hlth/Dntl/Life	17162	
03/10/21	FINANCE	21-00622	SUMMIT65 LIBRARY PETTY CASH ACCOUNT 1 March petty cash reimbursement	159.83	1-01-29-390-000-221 Library Machine Electronic	PC 4761	
03/10/21	FINANCE	21-00622	2 March petty cash reimbursement	175.00	1-01-29-390-000-217 Library Books	PC 4763	
03/10/21	FINANCE	21-00622	3 NJLTA Board members	189.47	1-01-29-390-000-222 Library Operations	PETTY CASH	
03/10/21	FINANCE	21-00622	4 Christian Science Monitor	99.00	1-01-29-390-000-218 Library Periodicals	PETTY CASH	
			P.O. Total:	623.30			
03/10/21	FINANCE	21-00623	SUMMIT65 LIBRARY PETTY CASH ACCOUNT 1 Fines money petty cash reimb	299.94	1-01-55-271-000-003 Library Fines Account	PETTY CASH	
03/10/21	FINANCE	21-00492	VITALS50 VITALE, SALVATORE SR 1 2020 Retiree Health Benefits	1,200.00	T-13-56-800-021-090 Self Insurance 2021 Other	REIMBURSEMENT	
03/10/21	FINANCE	21-00206	WESTER33 WESTERN PEST SERVICE 4 March pest control	97.50	1-01-29-390-000-415 Library Plant Operation & Maintenance	IN-6789309	
03/10/21	FINANCE	20-01530	WIELKOTZ WIELKOTZ & COMPANY LLC 13 2020 ANNUAL AUDIT BILL #1	7,500.00	0-07-55-501-001-504 Sewer Administration Audit Services	21-212-01244	
03/10/21	FINANCE	20-01530	14 2020 ANNUAL AUDIT BILL #1	4,500.00	0-09-55-502-001-504 Parking Audit Services	21-212-01244	
03/10/21	FINANCE	20-01530	15 2020 ANNUAL AUDIT BILL #1	3,000.00	0-01-20-135-000-200	21-21201244	

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					Audit Services		
			P.O. Total:	15,000.00			
			Total for Batch: FINANCE	41,788.95			
03/10/21	PARKDCP	21-00544	NJ-AME50 NJ-AMERICAN WATER CO. 3 1018220021694169 189 River	85.25	1-01-31-445-000-GLF Water - Golf Course	2/21	
03/10/21	PARKDCP	21-00442	WBMAISON W.B. MASON CO, INC 1 Calendar Refill	3.89	1-01-28-370-005-201 CP Supplies and Materials	217842587	
03/10/21	PARKDCP	21-00442	2 Wall Calendar	16.19	1-01-28-370-005-201 CP Supplies and Materials	217842587	
03/10/21	PARKDCP	21-00442	3 Legal Laminating Sheet	9.28	1-01-28-370-005-201 CP Supplies and Materials	217842587	
03/10/21	PARKDCP	21-00442	4 Pens	2.04	1-01-28-370-005-201 CP Supplies and Materials	217842587	
			P.O. Total:	31.40			
			Total for Batch: PARKDCP	116.65			
03/10/21	SAFETY	21-00591	AMER AMERICAN WASTE & TEXTILE, LLC 1 WHITE TOWELS	125.00	1-01-25-265-000-700 Fire Equipment	Q# SFD328	
03/10/21	SAFETY	21-00591	2 COTTON RAGS	45.00	1-01-25-265-000-700 Fire Equipment	Q# SFD328	
03/10/21	SAFETY	21-00591	3 FREIGHT	70.00	1-01-25-265-000-700 Fire Equipment	Q# SFD328	
			P.O. Total:	240.00			
03/10/21	SAFETY	20-00219	CAMPBELL SUPPLY CO LLC 2 REPAIR ORDER - SEE ATTACHED	569.40	0-01-25-265-000-705 Fire Trucks (Vehicle Maintenance)	R112004671:02	
03/10/21	SAFETY	21-00117	CHATNAPA CHATHAM NAPA 5 PREST/COMND HDTY DEF FLD 55 G	263.99	1-01-25-265-000-705 Fire Trucks (Vehicle Maintenance)		
03/10/21	SAFETY	21-00117	6 WIPER BLADE EXACT FIT	12.99	1-01-25-265-000-705	819472	
03/10/21	SAFETY	21-00117	7 WIPER BLADE FORCE	20.49	1-01-25-265-000-705	819472	
03/10/21	SAFETY	21-00117	8 WIPER BLADE FORCE	19.49	1-01-25-265-000-705	819472	
03/10/21	SAFETY	21-00117	9 CREDIT	52.97-	1-01-25-265-000-705	1052021	
			P.O. Total:	263.99			

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/10/21	SAFETY	20-02084	CUSTOM25 CUSTOM BANDAG INC 1 EST 2266 - 4 TIRES FOR TRUCK 1	3,044.10	0-01-25-265-000-705 Fire Trucks (Vehicle Maintenance)		
03/10/21	SAFETY	20-02084	2 EST 2266 2 TIRES - ENGINE 3	1,567.56	0-01-25-265-000-705 Fire Trucks (Vehicle Maintenance)		
03/10/21	SAFETY	20-02084	3 EST 2266 8 TIRES 2 STAFF VEHIC	1,160.16	0-01-25-265-000-705 Fire Trucks (Vehicle Maintenance)		
03/10/21	SAFETY	20-02084	4 EST 2266 4 TIRES IC VEHICLE	526.44	0-01-25-265-000-705 Fire Trucks (Vehicle Maintenance)		
			P.O. Total:	6,298.26			
03/10/21	SAFETY	20-02278	CUSTOM25 CUSTOM BANDAG INC 1 Tires for Police Vehicles	2,383.84	0-01-25-240-000-703 POL Vehicle Maintenance		
03/10/21	SAFETY	21-00345	ELECSSI ELECTRONIC SERVICE SOLUTIONS 1 152-162 MHZ ANTENNA	8.95	C-04-31-014-00C-010 124303 3114C FD Replace Fire Prevention Vehicle		
03/10/21	SAFETY	21-00345	2 470-490 MHZ ANTENNA	8.95	C-04-31-014-00C-010 124303 3114C FD Replace Fire Prevention Vehicle		
03/10/21	SAFETY	21-00345	3 806-896 MHZ ANTENNA	8.95	C-04-31-014-00C-010 124303 3114C FD Replace Fire Prevention Vehicle		
03/10/21	SAFETY	21-00345	4 MALE CONNECTOR	24.75	C-04-31-014-00C-010 124303 3114C FD Replace Fire Prevention Vehicle		
03/10/21	SAFETY	21-00345	5 NMOHF THK MT ANTENNA W/CABLE	118.50	C-04-31-014-00C-010 124303 3114C FD Replace Fire Prevention Vehicle		
			P.O. Total:	170.10			
03/10/21	SAFETY	21-00610	ESPOSITC ESPOSITO, CHRISTOPHER 1 AHA CPR Training Mater reimb	242.00	1-01-25-265-000-804 Fire Training & Seminars	REIMBURSEMENT	
03/10/21	SAFETY	21-00523	FIRE ONE FIREFIGHTER ONE LLC 1 ALL PURPOSE HOOK	102.70	C-04-32-013-00B-110 Q# 00222424 3213B FD Small Equipment Replacement		
03/10/21	SAFETY	21-00523	2 TWO MAN HOSE ROLLER	157.32	C-04-32-013-00B-110 Q# 00222424 3213B FD Small Equipment Replacement		
03/10/21	SAFETY	21-00523	3 SALVAGE COVERS	270.54	C-04-32-013-00B-110 Q# 00222424 3213B FD Small Equipment Replacement		
03/10/21	SAFETY	21-00523	4 SHIPPING	15.00	C-04-32-013-00B-110 Q# 00222424 3213B FD Small Equipment Replacement		
			P.O. Total:	545.56			
03/10/21	SAFETY	21-00534	IACP0050 IACP 1 IACP Net Services Access	875.00	1-01-25-240-000-500 POL Contract Svcs	0160157	
03/10/21	SAFETY	21-00609	LEMONSMA LEMONS, MATTHEW 1 Firefighting Strategies Reimb	1,276.35	1-01-25-265-000-805	REIMBURSEMENT	

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Fire Tuition Reimbursement							
03/10/21	SAFETY	21-00517	MOCTY MORRIS COUNTY PUBLIC SAFETY 1 FIREFIGHTER 1 - A. ORISTANIO	400.00	1-01-25-265-000-804 Fire Training & Seminars	29343	
03/10/21	SAFETY	21-00517	2 FIREFIGHTER 1 - M. CARBONE	400.00	1-01-25-265-000-804 Fire Training & Seminars	29343	
			P.O. Total:	800.00			
NATIONFU NATIONAL FUEL OIL INC							
03/10/21	SAFETY	21-00122	4 GASOLINE	2,752.68	1-01-31-460-000-000 GASOLINE	53679	
03/10/21	SAFETY	21-00122	5 GASOLINE	3,017.50	1-01-31-460-000-000 GASOLINE	54753	
			P.O. Total:	5,770.18			
NATIONFU NATIONAL FUEL OIL INC							
03/10/21	SAFETY	21-00123	2 DIESEL FUEL	6,479.22	1-01-31-461-000-000 DIESEL FUEL	54512	
03/10/21	SAFETY	21-00605	SANTOS SANTOS, PAULO 1 Sports Mktng Tuition Reimb	1,182.00	0-01-25-240-000-805 POL Tuition Reimbursement		REIMBURSEMENT
03/10/21	SAFETY	21-00178	TECHFIRE TECHNICAL FIRE SERVICES, INC. 1 NFPA Annual Pumper Svc Test	600.00	0-01-25-265-000-500 Fire Contract Services	7080	
03/10/21	SAFETY	21-00689	TOWNOF50 TOWN OF WESTFIELD 2 2021 HEALTH SERVICES 1ST QTR	54,462.75	1-01-27-330-000-501 BOH Town of Westfield Agreement		1ST QTR 2021
03/10/21	SAFETY	21-00400	TRANSUNR TRANSUNION RISK & ALTERNATIVE 2 DB Software Program	879.00	1-01-25-240-000-500 POL Contract Svcs		FEBRUARY 2021
03/10/21	SAFETY	21-00198	XEROXC33 XEROX CORPORATION 3 Feb. 2021 base chg#012703157	159.69	1-01-27-330-000-500 BOH Contract Svcs	012703157	
			Total for Batch: SAFETY	83,197.34			
ACETWILL ACE-TWILL							
03/10/21	WORKS	21-00580	1 Code Printng Zoning C/O books	655.00	1-01-22-195-000-301 CE Printing	43937	
03/10/21	WORKS	21-00521	ACMEOF005 ACME FIRE DOOR TESTING CORP 1 Roll Up Fire Door Testing	430.00	1-01-26-310-000-412 PB&G Repairs - 512 Springfield City Hall	8338	

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/10/21	WORKS	20-01976	AFPSPRIN A.F.P. SPRINKLER CORPORATION 1 ANNUAL FIRE SPRINKLER INSPECT	655.00	0-01-26-310-000-502 PB&G City Hall Maintenance Contracts	6769	
03/10/21	WORKS	20-01977	AFPSPRIN A.F.P. SPRINKLER CORPORATION 1 ANNUAL FIRE SPRINKLER INSPECT	495.00	0-01-26-310-000-503 PB&G Community Center Mntn Contracts	6769	
03/10/21	WORKS	20-01978	AFPSPRIN A.F.P. SPRINKLER CORPORATION 1 ANNUAL FIRE SPRINKLER INSPEC	395.00	0-01-26-310-000-420 PB&G Repairs - ButlerPkwy/Tatlock Fldhs	6769	
03/10/21	WORKS	20-01979	AFPSPRIN A.F.P. SPRINKLER CORPORATION 1 ANNUAL FIRE SPRINKLER INSPECT	595.00	0-01-26-310-000-411 PB&G Repairs - 41 Chatham Rd City Garage	6769	
03/10/21	WORKS	20-02351	ALLCOU66 ALL COUNTY SEWER & DRAIN SRVC 2 Mainline camera insp.strm drns	1,960.00	C-06-29-013-00A-000 2913 - Improvement Sanitary Sewer System	24079	
03/10/21	WORKS	21-00037	BUY-WI50 BUY-WISE AUTO PARTS 85 Standard Mini Bulb	4.10	1-01-26-315-000-201 Garage Supplies and Materials	10LF9067	
03/10/21	WORKS	21-00037	86 Wire - Ties	3.50	1-01-26-315-000-214 Garage Vehicle Supplies	10LG0936	
03/10/21	WORKS	21-00037	87 M-I 1/4 FEM L STYLE BODY	32.18	1-01-26-315-000-214 Garage Vehicle Supplies	10 LG0225	
03/10/21	WORKS	21-00037	88 PRIME GUARD DEF 2.5 (STK)	55.93	1-01-26-315-000-214 Garage Vehicle Supplies	10 KP5336	
03/10/21	WORKS	21-00037	89 CAP SCREW-HEX HEAD CLASS (147)	3.53	1-01-26-315-000-609 Garage RPST Equipment Maintenance	10 LI0852	
03/10/21	WORKS	21-00037	90 BATTERY (11)	143.09	1-01-26-315-000-611 Garage RRM Vehicle Maintenance	10LF2518	
03/10/21	WORKS	21-00037	91 BATTERY	16.00-	1-01-26-315-000-611 Garage RRM Vehicle Maintenance	10LF2518	
03/10/21	WORKS	21-00037	92 PRIME GUARD DEF 2.5 (16)	8.99	1-01-26-315-000-611 Garage RRM Vehicle Maintenance	10LH5400	
03/10/21	WORKS	21-00037	93 22" TRIC ICE WINTER (12)	8.49	1-01-26-315-000-611 Garage RRM Vehicle Maintenance	10LF9053	
03/10/21	WORKS	21-00037	94 ADVANTAGE BEAM WIPER	13.14	1-01-26-315-000-611 Garage RRM Vehicle Maintenance	10LF8399	
03/10/21	WORKS	21-00037	95 20" TRICO ICE WINTER	8.49	1-01-26-315-000-611 Garage RRM Vehicle Maintenance	10LF8410	
03/10/21	WORKS	21-00037	96 HUB CAP (13)	27.92	1-01-26-315-000-611 Garage RRM Vehicle Maintenance	10LG2079	
03/10/21	WORKS	21-00037	97 STANDARD CAPSULE	7.84	1-01-26-315-000-612 Garage PW Vehicle Maintenance	10LH5399	
03/10/21	WORKS	21-00037	98 22" TRICO ICE WINTER (MAINT42)	16.98	1-01-26-315-000-612 Garage PW Vehicle Maintenance	10LF9034	
03/10/21	WORKS	21-00037	99 STANDARD CAPSULE (DPW 41)	7.84	1-01-26-315-000-612 Garage PW Vehicle Maintenance	10LF9070	
03/10/21	WORKS	21-00037	100 CAP ASY FUEL TANK (46)	10.81	1-01-26-315-000-612	10LF2659	

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03/10/21	WORKS	21-00037	101 SEALED BEAM (G&T 64)	14.91	Garage PW Vehicle Maintenance 1-01-26-315-000-613	10LH5403	
03/10/21	WORKS	21-00037	102 PRIME GUARD DEF (ROADS 85)	8.99	Garage G&T Vehicle Maintenance 1-01-26-315-000-616	10LH5401	
03/10/21	WORKS	21-00037	103 PRIME GUARD DEF (ROADS 85)	8.99	Garage COMPOST Vehicle Maintenance 1-01-26-315-000-616	10LF9069	
03/10/21	WORKS	21-00037	104 PRIME GUARD DEF (PARKS 93)	8.99	Garage COMPOST Vehicle Maintenance 1-01-26-315-000-619	10LH5402	
03/10/21	WORKS	21-00037	105 SERPENTINE BELT (105)	37.57	Garage RPST Vehicle Maintenance 1-01-26-315-000-619	10LF6252	
03/10/21	WORKS	21-00037	106 PUMP ASY POWER STEERING (105)	368.33	Garage RPST Vehicle Maintenance 1-01-26-315-000-619	10LF8725	
03/10/21	WORKS	21-00037	107 MERCON V TRANSMISSION (105)	28.50	Garage RPST Vehicle Maintenance 1-01-26-315-000-619	10LF8784	
			P.O. Total:	813.11	Garage RPST Vehicle Maintenance		
03/10/21	WORKS	21-00620	CAMPBELL FOUNDRY CO 1 MANHOLE COVER - 7 RAMSEY DR	130.00	1-07-55-502-004-201 Sewer Operating Supplies	101957	
03/10/21	WORKS	20-00042	CANON BUSINESS SOLUTIONS-EAST 13 COPIER MAINTENANCE	126.25	0-01-32-465-000-201 CS Supplies and Materials	4034877631	
03/10/21	WORKS	21-00039	CANON BUSINESS SOLUTIONS-EAST 3 COPIER MAINTENANCE-FEB 2021	93.64	1-01-32-465-000-201 CS Supplies and Materials	4035453839	
03/10/21	WORKS	21-00038	CANON FINANCIAL SERVICES INC 2 B&W Copier Monthly Chrg 2/21	81.45	1-01-32-465-000-701 CS Equipment	26202342	
03/10/21	WORKS	20-00052	CUSTOM BANDAG INC 38 Flat repair	26.25	0-01-26-315-000-615 Garage TS Vehicle Maintenance	70176361	
03/10/21	WORKS	20-00052	39 PX3 patch#81	4.50	0-01-26-315-000-615 Garage TS Vehicle Maintenance	70176361	
03/10/21	WORKS	20-00052	41 Tranforce AT2#11	519.08	0-01-26-315-000-611 Garage RRM Vehicle Maintenance	60186326	
03/10/21	WORKS	20-00052	42 12R 22.5 #66	160.38	0-01-26-315-000-613 Garage G&T Vehicle Maintenance	60186005	
03/10/21	WORKS	20-00052	43 12R 22.5 radial casing #66	99.50	0-01-26-315-000-613 Garage G&T Vehicle Maintenance	60186005	
03/10/21	WORKS	20-00052	44 Medium truck valve #66	5.67	0-01-26-315-000-613 Garage G&T Vehicle Maintenance	60186005	
03/10/21	WORKS	20-00052	45 22.5x8.25 #66	95.00	0-01-26-315-000-613 Garage G&T Vehicle Maintenance	60186005	
03/10/21	WORKS	20-00052	46 Mount & return only #66	14.00	0-01-26-315-000-613 Garage G&T Vehicle Maintenance	60186005	
03/10/21	WORKS	20-00052	47 Jumbo Hulk ply #49	904.92	0-07-55-502-004-403 Garage G&T Vehicle Maintenance	70176997	

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
					Sewer Operating Equipment Maintenance		
			P.O. Total:	1,829.30			
03/10/21	WORKS	21-00585	EQUIPTEC BOBCAT OF CENTRAL JERSEY 1 TIRE CHAINS	380.00	1-01-26-315-000-609 Garage RPST Equipment Maintenance	P67263	
03/10/21	WORKS	21-00056	FDRHIT FDR HITCHES LLC 7 Snow plow cutting edges	689.99	1-01-26-315-000-611 Garage RRM Vehicle Maintenance	236434	
03/10/21	WORKS	21-00056	8 Snow plow cutting edges	689.99	1-01-26-315-000-612 Garage PW Vehicle Maintenance	236434	
03/10/21	WORKS	21-00056	9 Snow plow cutting edges	689.99	1-01-26-315-000-619 Garage RPST Vehicle Maintenance	236434	
03/10/21	WORKS	21-00056	10 Snow plow cutting edges	690.00	1-07-55-502-004-405 Sewer Operating Vehicle Maintenance	236434	
			P.O. Total:	2,759.97			
03/10/21	WORKS	21-00059	FOLEYI50 FOLEY INCORPORATED 10 Hydro Fit for Bckt Attach #89	394.41	1-01-26-315-000-606 Garage COMPOST Equipment Maintenance	PSIN2360130	
03/10/21	WORKS	21-00062	GRAING60 GRAINGER INDUSTRIAL SUPPLY 8 Motor	123.10	1-01-26-310-000-412 PB&G Repairs - 512 Springfield City Hall	9809177513	
03/10/21	WORKS	21-00197	JENEL JEN ELECTRIC, INC. 1 Upgrades to pedestrian signal	1,880.00	C-04-31-041-00E-140 3141E DCS Pedestrian Safety Improve Prjt	ESTIMATE 2051	
03/10/21	WORKS	20-01527	MARIZITI MARAZITI FALCON LLC 12 Redevelopment Attorney Fees	5,746.98	0-01-21-180-000-500 MLU Planning Legal Services	45370	
03/10/21	WORKS	20-01527	13 Redevelopment Attorney Fees	5,497.00	0-01-21-180-000-500 MLU Planning Legal Services	45370	
03/10/21	WORKS	20-01527	14 Redevelopment Attorney Fees	5,704.00	0-01-21-180-000-500 MLU Planning Legal Services	45489	
			P.O. Total:	16,947.98			
03/10/21	WORKS	20-00303	MASERC50 MASER CONSULTING PA 103 ZB Escrow Fees ZB-19-2000	507.50	T-03-56-286-000-084 Reserved for Zoning Board Escrow Fees	612878	
03/10/21	WORKS	20-00303	104 ZB Escrow Fees ZB-19-2000	435.00	T-03-56-286-000-084 Reserved for Zoning Board Escrow Fees	624947	
03/10/21	WORKS	20-00303	105 ZB Escrow Fees ZB-20-2020	616.25	T-03-56-286-000-084 Reserved for Zoning Board Escrow Fees	612881	
03/10/21	WORKS	20-00303	106 ZB Escrow Fees ZB-20-2022	652.50	T-03-56-286-000-084 Reserved for Zoning Board Escrow Fees	612880	
03/10/21	WORKS	20-00303	107 ZB Escrow Fees ZB-20-2018	616.25	T-03-56-286-000-084 Reserved for Zoning Board Escrow Fees	612888	

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/10/21	WORKS	20-00303	108 ZB Escrow Fees ZB-20-2021	580.00	Reserved for Zoning Board Escrow Fees T-03-56-286-000-084	612887	
03/10/21	WORKS	20-00303	109 ZB Escrow Fees ZB-20-2024	217.50	Reserved for Zoning Board Escrow Fees T-03-56-286-000-084	624942	
03/10/21	WORKS	20-00303	110 ZB Escrow Fees ZB-20-2026	1,196.25	Reserved for Zoning Board Escrow Fees T-03-56-286-000-084	624948	
			P.O. Total:	4,821.25	Reserved for Zoning Board Escrow Fees		
03/10/21	WORKS	20-00345	MASERC50 MASER CONSULTING PA 18 PB Escrow fees PB-16-244	1,155.00	T-03-56-286-000-085	489758	
03/10/21	WORKS	20-00345	19 PB Escrow fees PB-18-245-2	145.00	Reserved for Planning Board Escrow Fees T-03-56-286-000-085	571178	
03/10/21	WORKS	20-00345	20 PB Escrow fees PB-19-251	72.50	Reserved for Planning Board Escrow Fees T-03-56-286-000-085	596419	
03/10/21	WORKS	20-00345	21 PB Escrow fees PB-18-245-2	72.50	Reserved for Planning Board Escrow Fees T-03-56-286-000-085	612879	
03/10/21	WORKS	20-00345	22 PB Escrow fees PB-18-245-2	181.25	Reserved for Planning Board Escrow Fees T-03-56-286-000-085	620133	
03/10/21	WORKS	20-00345	23 PB Escrow fees PB-20-252	2,122.50	Reserved for Planning Board Escrow Fees T-03-56-286-000-085	612883	
03/10/21	WORKS	20-00345	24 PB Escrow fees PB-20-252	1,527.50	Reserved for Planning Board Escrow Fees T-03-56-286-000-085	624945	
03/10/21	WORKS	20-00345	25 PB Escrow fees PB-20-253	1,740.00	Reserved for Planning Board Escrow Fees T-03-56-286-000-085	624943	
03/10/21	WORKS	20-00345	26 PB Escrow fees PB-19-250	833.75	Reserved for Planning Board Escrow Fees T-03-56-286-000-085	624944	
			P.O. Total:	7,850.00	Reserved for Planning Board Escrow Fees		
03/10/21	WORKS	20-00346	MASERC50 MASER CONSULTING PA 88 Inspection Fees PB-19-248	375.00	T-03-56-286-000-086	612885	
03/10/21	WORKS	20-00346	89 Inspection Fees PB-18-245	460.00	Reserved for Engineering Inspection Fees T-03-56-286-000-086	612889	
03/10/21	WORKS	20-00346	90 Inspection Fees ZB-17-1909	172.50	Reserved for Engineering Inspection Fees T-03-56-286-000-086	612890	
03/10/21	WORKS	20-00346	91 Inspection Fees ZB-19-1983	72.50	Reserved for Engineering Inspection Fees T-03-56-286-000-086	612886	
03/10/21	WORKS	20-00346	92 Inspection Fees ZB-18-1941-2	115.00	Reserved for Engineering Inspection Fees T-03-56-286-000-086	612882	
03/10/21	WORKS	20-00346	93 Inspection Fees ZB-17-1897	332.50	Reserved for Engineering Inspection Fees T-03-56-286-000-086	616689	
03/10/21	WORKS	20-00346	94 Inspection Fees PB-18-245	115.00	Reserved for Engineering Inspection Fees T-03-56-286-000-086	620157	
03/10/21	WORKS	20-00346	95 Inspection Fees ZB-17-1909	375.00	Reserved for Engineering Inspection Fees T-03-56-286-000-086	620158	
03/10/21	WORKS	20-00346	96 Inspection Fees ZB-18-1927	1,522.50	Reserved for Engineering Inspection Fees T-03-56-286-000-086	620148	
03/10/21	WORKS	20-00346	97 Inspection Fees PB-18-245	172.50	Reserved for Engineering Inspection Fees T-03-56-286-000-086	624946	

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/10/21	WORKS	20-00346	98 Inspection Fees ZB-17-1890	302.50	Reserved for Engineering Inspection Fees T-03-56-286-000-086	624941	
			P.O. Total:	4,015.00	Reserved for Engineering Inspection Fees		
03/10/21	WORKS	21-00088	MORRISPL MORRIS PLAINS SHOES 58 2415 11.5D-NICK MONTAGNA	200.00	1-01-26-315-000-801 Garage Clothing Purchase/Cleaning	006974	
03/10/21	WORKS	18-03230	MOTTMACD MOTT MACDONALD LLC 6 Golf Course Pond Imp.507431129	2,070.00	C-04-31-014-00A-058 3114A DCS Municipal Golf Course Spillway	507431129	
03/10/21	WORKS	19-02107	MOTTMACD MOTT MACDONALD LLC 8 Sewer Utility Divsn Ave Bridge	1,165.50	C-06-31-067-00A-024 3167A Sewer Priority Spot Rep & Investig	507429881	
03/10/21	WORKS	19-02715	MOTTMACD MOTT MACDONALD LLC 5 Eng. Servcs Community Center	647.50	C-04-29-050-00A-008 2950 - Wilson Park Phase II	507431936	
03/10/21	WORKS	19-02941	MOTTMACD MOTT MACDONALD LLC 6 Parkline Eng.Servcs #507431934	9,500.00	T-03-56-286-000-143 Reserved Summit Parkline	507431934	
03/10/21	WORKS	21-00642	NATION03 NATIONAL AIR FILTER 1 HVAC FILTERS-41 CHATHAM RD	511.20	1-01-26-310-000-201 PB&G Supplies and Materials	030921-1	
03/10/21	WORKS	21-00604	NJADVANM NJ ADVANCE MEDIA LLC 1 PB Special Mtg notice 10/8/20	245.00	T-03-56-286-000-085 Reserved for Planning Board Escrow Fees	0009754370	
03/10/21	WORKS	20-00304	ROSENBERG & ASSOCIATES 48 ZB Steno Fees Charged to City	136.50	0-01-21-185-000-499 BOA Reporting	303417	
03/10/21	WORKS	20-00304	49 ZB Steno Fees Charged to City	175.50	0-01-21-185-000-499 BOA Reporting	303808	
03/10/21	WORKS	20-00304	50 ZB Steno Fees Charged to City	260.00	0-01-21-185-000-499 BOA Reporting	304312	
03/10/21	WORKS	20-00304	51 ZB Steno Fees Charged to City	136.50	0-01-21-185-000-499 BOA Reporting	304564	
03/10/21	WORKS	20-00304	52 ZB Escrow Fees 11/2 Mtg	831.50	T-03-56-286-000-084 Reserved for Zoning Board Escrow Fees	303417	
03/10/21	WORKS	20-00304	53 ZB Escrow Fees 11/16 Mtg	864.00	T-03-56-286-000-084 Reserved for Zoning Board Escrow Fees	303808	
03/10/21	WORKS	20-00304	54 ZB Escrow Fees 12/7 Mtg	1,150.00	T-03-56-286-000-084 Reserved for Zoning Board Escrow Fees	304312	
03/10/21	WORKS	20-00304	55 ZB Escrow Fees 12/22 Mtg	1,150.00	T-03-56-286-000-084 Reserved for Zoning Board Escrow Fees	304564	
			P.O. Total:	4,704.00	Reserved for Zoning Board Escrow Fees		

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
SUMMIT40 SUMMIT IND. HARDWARE							
03/10/21	WORKS	21-00099	46 CHAIN REPAIR PLIERS	278.00	1-01-26-290-000-205 RRM Tools	758237	
03/10/21	WORKS	21-00099	47 POLY SHOVEL/FIBER HDL	31.44	1-01-26-290-000-205 RRM Tools	756253	
03/10/21	WORKS	21-00099	48 SPRAY 9QT 32OZ	6.79	1-01-26-290-000-205 RRM Tools	757237	
03/10/21	WORKS	21-00099	49 8X10 GRN/BRN TARP	10.19	1-01-26-290-000-205 RRM Tools	757237	
03/10/21	WORKS	21-00099	50 RAIN-X SPRAY	18.68	1-01-26-290-000-205 RRM Tools	756875	
03/10/21	WORKS	21-00099	51 NORDIC POLY SNOW SHOVEL	39.08	1-01-26-290-000-205 RRM Tools	756722	
03/10/21	WORKS	21-00099	52 ADJSTBL SPANNER WRENCH TRCK#99	22.02	1-01-26-300-000-201 PW Supplies	757534	
03/10/21	WORKS	21-00099	53 80LB CONCRETE	79.90	1-01-26-300-000-212 PW Storm Sewer Materials	757462	
03/10/21	WORKS	21-00099	54 36" ALPINE EX/WD POLY SHOVEL	47.59	1-01-26-310-000-201 PB&G Supplies and Materials	758604	
03/10/21	WORKS	21-00099	55 3OZ DIELECTRIC GREASE	13.59	1-01-26-310-000-201 PB&G Supplies and Materials	758604	
03/10/21	WORKS	21-00099	56 24PK AA PROCELL BATTERY	18.69	1-01-26-310-000-201 PB&G Supplies and Materials	757633	
03/10/21	WORKS	21-00099	57 ELECTRICAL	196.00	1-01-26-310-000-411 PB&G Repairs - 41 Chatham Rd City Garage	759105	
03/10/21	WORKS	21-00099	58 GT ERGO FIREMAN NOZZLE	15.29	1-01-26-310-000-411 PB&G Repairs - 41 Chatham Rd City Garage	759105	
03/10/21	WORKS	21-00099	59 100' SLV BULLET HOSE	57.76	1-01-26-310-000-411 PB&G Repairs - 41 Chatham Rd City Garage	759105	
03/10/21	WORKS	21-00099	60 24PK AAA BATTERY	19.54	1-01-26-310-000-411 PB&G Repairs - 41 Chatham Rd City Garage	759105	
03/10/21	WORKS	21-00099	61 12 PK D DURA PRO BATTERY	18.69	1-01-26-310-000-411 PB&G Repairs - 41 Chatham Rd City Garage	759105	
03/10/21	WORKS	21-00099	62 SFDD/E/835 BULB-PD GYM	16.98	1-01-26-310-000-412 PB&G Repairs - 512 Springfield City Hall	757487	
03/10/21	WORKS	21-00099	63 F26DBX 26 W BULB-PD GYM	22.08	1-01-26-310-000-412 PB&G Repairs - 512 Springfield City Hall	757487	
03/10/21	WORKS	21-00099	64 5/80DX 3/80D RED UNION	11.88	1-01-26-310-000-418 PB&G Repairs - 100 Morris Ave Comm Cntr	759255	
03/10/21	WORKS	21-00099	65 BRASS QUICK DISCONNECT	16.98	1-01-26-310-000-418 PB&G Repairs - 100 Morris Ave Comm Cntr	759255	
03/10/21	WORKS	21-00099	66 THERMOSTAT LOCK BOX - CORNOG	19.54	1-01-26-310-000-419 PB&G Repairs - 5 Myrtle Ave Cornog Bldg	759256	
03/10/21	WORKS	21-00099	67 3PK BLACK ICE AIR FRESHENER	3.39	1-01-26-315-000-214 Garage Vehicle Supplies	758457	
03/10/21	WORKS	21-00099	68 CR2032 BATTERIES	1.69	1-01-26-315-000-214 Garage Vehicle Supplies	758457	
03/10/21	WORKS	21-00099	69 5/16 UNTHREADE ROD TRUCK #98	5.09	1-01-26-315-000-609 Garage RPST Equipment Maintenance	758579	
03/10/21	WORKS	21-00099	70 1/2BL COUPLING STEEL TRUCK #98	3.90	1-01-26-315-000-609	758579	

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/10/21	WORKS	21-00099	71 GAL BUSHING TRUCK #149	4.24	Garage RPST Equipment Maintenance 1-01-26-315-000-609	757117	
03/10/21	WORKS	21-00099	72 BLK RED BUSHING TRUCK #149	21.97	Garage RPST Equipment Maintenance 1-01-26-315-000-609	757117	
03/10/21	WORKS	21-00099	73 GAL BUSHING TRUCK #144	8.48	Garage RPST Equipment Maintenance 1-01-26-315-000-609	757632	
03/10/21	WORKS	21-00099	74 BLK RED BUSHING TRUCK #144	13.52	Garage RPST Equipment Maintenance 1-01-26-315-000-609	757632	
03/10/21	WORKS	21-00099	75 GAL WINDEX REFILL	14.44	Garage RPST Equipment Maintenance 1-01-28-375-000-204	757240	
03/10/21	WORKS	21-00099	76 DAWN DISH SOAP	9.34	P&ST Grounds Maintenance Materials 1-01-28-375-000-204	757240	
03/10/21	WORKS	21-00099	77 6BIG ROLL PAPER TOWELS	14.99	P&ST Grounds Maintenance Materials 1-01-28-375-000-204	757240	
03/10/21	WORKS	21-00099	78 40QT OIL ABSORBENT	27.98	P&ST Grounds Maintenance Materials 1-01-26-300-000-201	755561	
				P.O. Total:	1,089.74		PW Supplies
03/10/21	WORKS	21-00641	ULINE ULINE 1 Water Wall Sfty Barriers-CRBD	3,950.00	C-04-30-080-00A-010 3080 SID Various Improvements	131037234	
03/10/21	WORKS	21-00641	2 Delivery charge	215.33	C-04-30-080-00A-010 3080 SID Various Improvements	131037234	
				P.O. Total:	4,165.33		
03/10/21	WORKS	21-00105	USMUNI38 US MUNICIPAL SUPPLY INC 7 Pl blades, Curb Shoes, Chains	1,106.42	1-01-26-315-000-611 Garage RRM Vehicle Maintenance		
03/10/21	WORKS	21-00105	8 Pl blades, Curb Shoes, Chains	1,106.42	1-01-26-315-000-612 Garage PW Vehicle Maintenance		
03/10/21	WORKS	21-00105	9 Pl blades, Curb Shoes, Chains	1,106.42	1-01-26-315-000-619 Garage RPST Vehicle Maintenance		
03/10/21	WORKS	21-00105	10 Pl blades, Curb Shoes, Chains	1,106.41	1-07-55-502-004-405 Sewer Operating Vehicle Maintenance		
				P.O. Total:	4,425.67		
03/10/21	WORKS	21-00418	VERIZ408 VERIZON WIRELESS 5 442088740-00001 BLANKET	1,032.56	1-01-31-440-000-000 TELEPHONE	9874013282	
03/10/21	WORKS	21-00418	6 442088740-00001 (sewer utility	96.14	1-07-55-502-004-509 Sewer Operating Mobile Devices	9874013282	
				P.O. Total:	1,128.70		
03/10/21	WORKS	20-00783	WORRAL33 WORRALL COMMUNITY NEWSPAPERS 25 PB Legal Ad 9-23 Special Mtg	71.84	0-01-21-180-000-210 MLU Advertising	215091	
03/10/21	WORKS	20-00783	26 ZB Legal Ad 12/22 Special Mtg	86.54	0-01-21-185-000-210	220032	

March 11, 2021  
11:38 AM

City of Summit  
Received P.O. Batch Listing By Vendor Id

Page No: 36

Rcvd Date	Batch Id	PO #	Vendor Item Description	Amount	Charge Account Description	Invoice Number	Contract
03/10/21	WORKS	20-00783	27 ZB Escrow Legal Ads	34.11	BOA Advertising T-03-56-286-000-084	219420	
03/10/21	WORKS	20-00783	28 ZB Escrow Legal Ad	27.25	Reserved for Zoning Board Escrow Fees T-03-56-286-000-084	220345	
03/10/21	WORKS	20-00783	29 PB Escrow Legal Ad - PB-20-252	83.60	Reserved for Zoning Board Escrow Fees T-03-56-286-000-085	215091	
03/10/21	WORKS	20-00783	30 PB Escrow Legal Ad PB-20-253	78.70	Reserved for Planning Board Escrow Fees T-03-56-286-000-085	219674	
			P.O. Total:	382.04	Reserved for Planning Board Escrow Fees		
			Total for Batch: WORKS	77,665.14			
			Total for Date: 03/10/21		Total for All Batches:	475,341.66	

Batch Id	Batch Total
Total for Batch: ADMIN	50.00
Total for Batch: EPOPOLO	549,782.18
Total for Batch: FINANCE	41,788.95
Total for Batch: PARKDCP	116.65
Total for Batch: SAFETY	83,197.34
Total for Batch: WORKS	77,665.14
Total Of All Batches:	<hr/> <hr/> 752,600.26

Totals by Year-Fund Fund Description	Fund	Budget Total	Revenue Total	G/L Total	Total
Current Fund	0-01	294,192.44	0.00	0.00	294,192.44
Sewer Operating	0-07	9,480.92	0.00	0.00	9,480.92
Parking Operating	0-09	4,681.93	0.00	0.00	4,681.93
	Year Total:	308,355.29	0.00	0.00	308,355.29
Current Fund	1-01	259,241.18	6,400.00	0.00	265,641.18
Sewer Operating	1-07	7,672.91	0.00	0.00	7,672.91
Parking Operating	1-09	43,850.35	3.00	0.00	43,853.35
Uniform Construction Code	1-18	410.33	0.00	0.00	410.33
Recreation Trust	1-28	72.47	0.00	0.00	72.47
	Year Total:	311,247.24	6,403.00	0.00	317,650.24
General Capital	C-04	29,447.47	0.00	0.00	29,447.47
Sewer Capital	C-06	3,125.50	0.00	0.00	3,125.50
	Year Total:	32,572.97	0.00	0.00	32,572.97
Trust - Other	T-03	30,650.41	0.00	0.00	30,650.41
Animal Control	T-12	4,000.00	0.00	0.00	4,000.00
Self Insurance Trust	T-13	54,371.35	0.00	0.00	54,371.35
Community Development	T-17	5,000.00	0.00	0.00	5,000.00
	Year Total:	94,021.76	0.00	0.00	94,021.76
	Total of All Funds:	746,197.26	6,403.00	0.00	752,600.26

# THE CITY OF SUMMIT

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## NEW JERSEY

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CITY HALL 512 SPRINGFIELD AVENUE SUMMIT, NJ 07901

March 5, 2021

The Honorable Mayor and  
Members of Common Council  
City Hall  
Summit, New Jersey

Ladies and Gentlemen:

On Tuesday, February 23, 2021, at 11:00 a.m., bids were received by the Purchasing Agent as advertised in the Union County Local Source on January 28, 2021, and referred to the City Engineer/Deputy DCS Director. Results are as follows:

### SPRING 2021 CITYWIDE TREE PLANTING

	Base Bid 125 Trees (\$)	Alt. A Watering Unit Price 125 Trees	Total
Plant Detectives Inc. 45 Route 206 Chester NJ 07930	25,585.00	No bid Reject, NJSA 40A:11-22, Consent of Surety not provided	\$25,585.00
SJC Lawncare Inc. 305 Elizabeth Avenue Cranford NJ 07016	48,900.00	3,125.00	\$52,025.00
Louis Barbato Landscaping Inc. 1600 Railroad Avenue Holbrook NY 11741	46,525.00* *Corrected	10,000.00	\$56,525.00
Faircut Services LLC 17 Timber Drive Montville NJ 07045	56,000.00	22,000.00 Reject, NJSA 40A:11-22, Consent of Surety defective	\$78,000.00
JR Cruz 33 West Main Street Holmdel NJ 07733	67,750.00	11,875.00	\$79,625.00
Sunset Creations 355 Route 601 Belle Mead NJ 08502	68,750.00	12,000.00	\$80,750.00

The Purchasing Agent, upon the review, evaluation and recommendation in a memo from the City Engineer/Deputy DCS Director, makes the following bid award recommendation to the Capital Projects & Community Services Committee:

### SPRING 2021 CITYWIDE TREE PLANTING

Reject low bidder, Plant Detectives Inc., pursuant to NJSA 40A:11-22, Consent of Surety not provided.

Award bid to SJC Lawncare Inc., for a low net base bid plus Alternates A for a total of \$52,025.00.

Sincerely,

*Michelle Caputo*

Michelle Caputo  
Purchasing Agent